

Advent Health - NEW SMYRNA BEACH

Medical / Retail Planned Unit Development
 City of New Smyrna Beach, Florida
 NOVEMBER 20, 2020

Revisions:
 Revised October 4, 2021

Ownership & Consultant Information

Owner

Parcel 1
 Southeast Volusia Healthcare
 Corp.

Parcel 2
 Southeast Volusia Healthcare
 Corp.

Parcel 3
 Southeast Volusia Healthcare
 Corp.

Parcel 4
 Southeast Volusia Healthcare
 Corp.

Legal Counsel

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 301 E. Pine Street
 Orlando, FL 32801
 Phone: (407) 843-8880

Applicant/ Planner

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 Orlando, FL 32856
 Phone: (407) 839-2099 (Office)
 Contact: Adrienne Downey-Jacks, RLA
 (407) 687-5754

Surveyor & Civil Engineer

Donald W. McIntosh Associates, Inc.
 2200 N. Park Ave
 Winter Park, FL 32789
 Phone: (407) 644-4068
 Contact: John T. Townsend, PE

Traffic Engineer

LTEC, Inc.
 29 E. Pine Street
 Orlando, FL 32801
 Phone: (407) 423-8055

Utility Providers

Sewer & Water Service

Contact: James P. Tiffany
 Utilities Commission, City of New Smyrna Beach
 200 Canal Street
 New Smyrna Beach, FL 32168
 Phone: (386) 427-1361

Telephone

Contact: AT&T
 Phone: (561) 997-0240

Cable

Contact: Brighthouse Network, LLC
 Phone: (386) 446-1420

Power Service

Contact: James P. Tiffany
 Utilities Commission, City of New Smyrna Beach
 200 Canal Street
 New Smyrna Beach, FL 32168
 Phone: (386) 427-1361

Gas

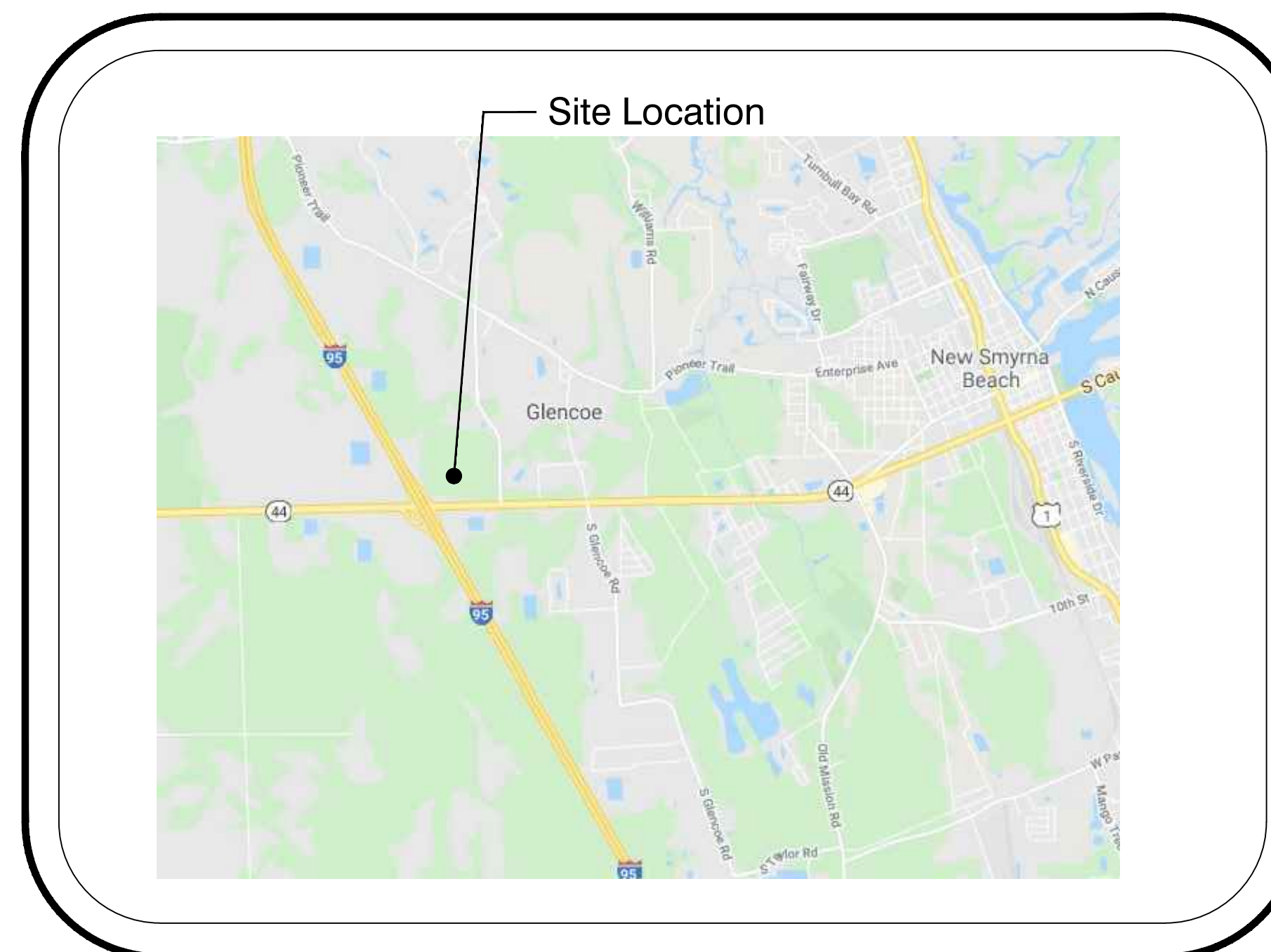
Contact: Florida Public Utilities Company
 Phone: (386) 668-9364

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Project Description:

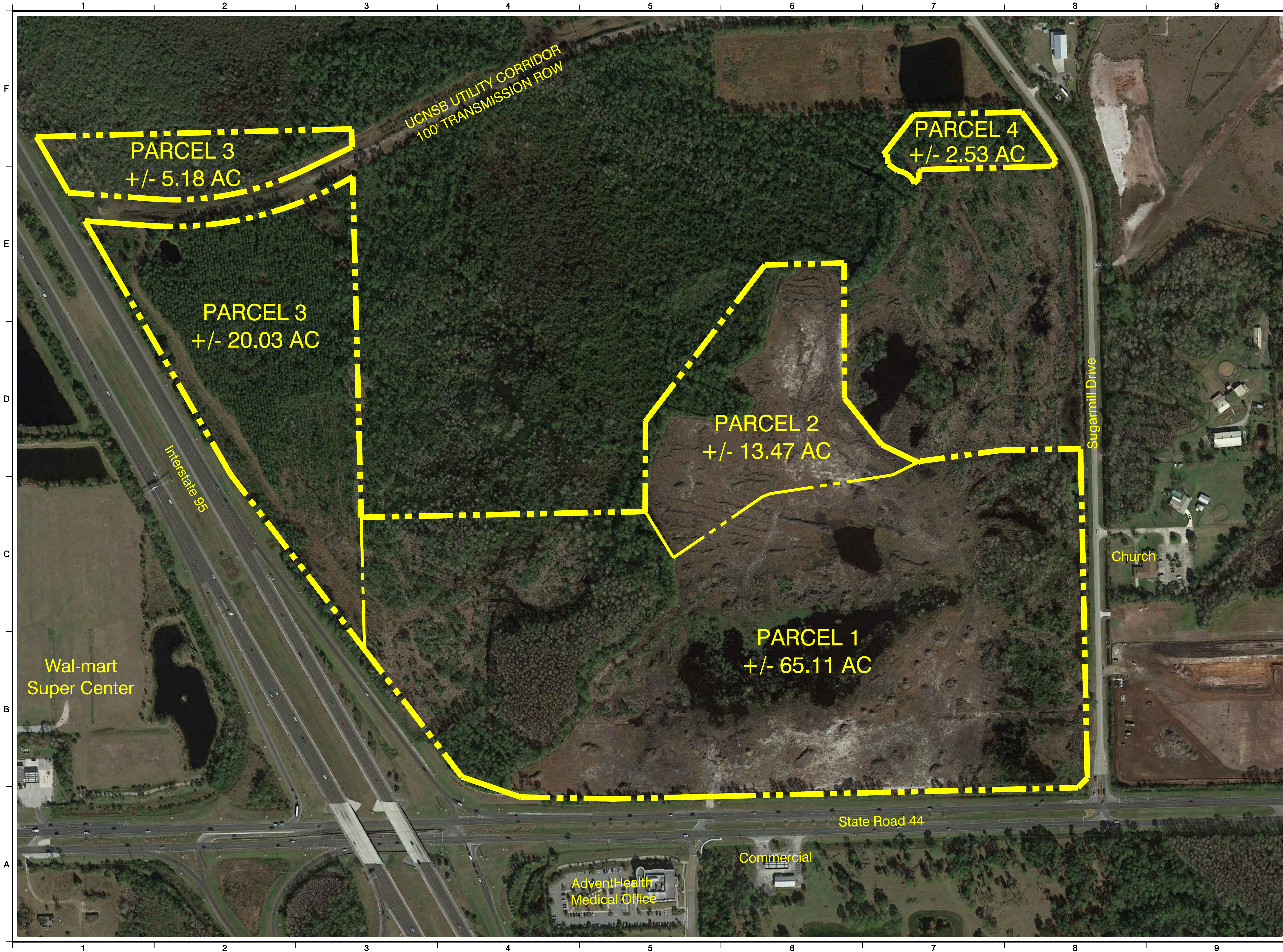
This PUD removes from the Coastal Woods PUD, the real property that was purchased by Southeast Volusia Healthcare Corporation to develop a community medical campus. Assignment of entitlements from parcels Coastal Woods West Commercial and Rubin Parcels have been assigned to this project's 106.32 acre land area.



 **Location Map** (not to scale)

ALTERNATE KEY #'s: 7968843, 7968851, 3712609, 8008458

SR 44, New Smyrna Beach, FL 34711



AdventHealth
 CONSULTANTS
 Gray Robinson, PA
 Davis & Associates
 Donald W. McIntosh Associates, Inc.
 Luke Transportation Engineering Consultants, Inc.

**ADVENT HEALTH
 NEW SMYRNA BEACH PUD**
 City of New Smyrna Beach, Florida

SEAL

ISSUED FOR:	11/20/2020	SUBMITTAL (REVISION)
	7/27/2021	SUBMITTAL (REVISION)
	10/4/2021	SUBMITTAL (REVISION)

PROJECT NO.	2020-08
DESIGNED BY	TDC
DRAWN BY	TDC
CHECKED BY	TDC/ADJ
DATE	11/20/2020

DRAWING SCALE

 0 FT 75 150 North

DRAWING TITLE
 TOTAL PROJECT BOUNDARY

DRAWING NUMBER
PUD-2

ADVENT HEALTH
NEW SMYRNA BEACH PUD
City of New Smyrna Beach, Florida

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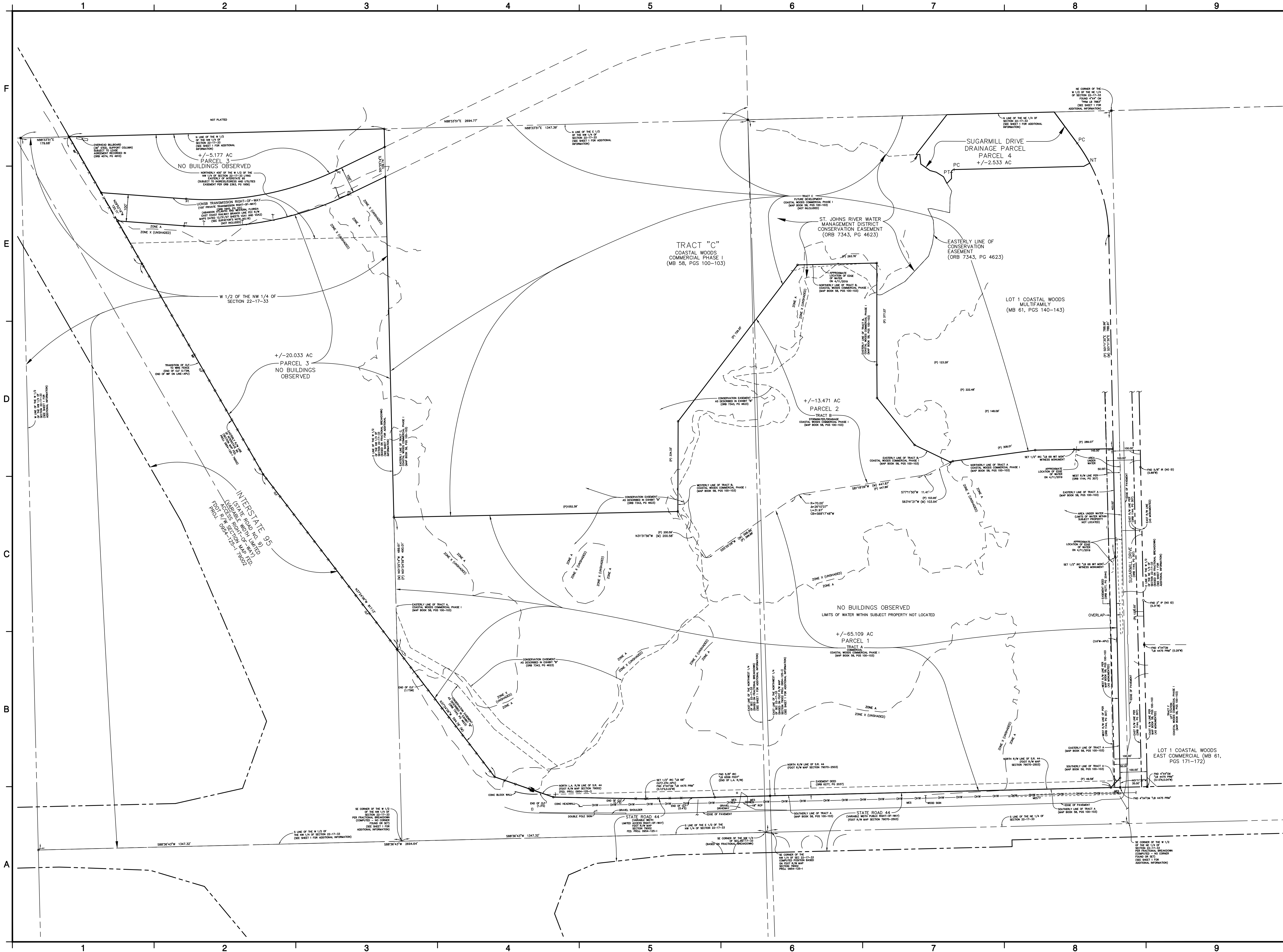
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DESIGNED BY	DWMA
DRAWN BY	DWMA
CHECKED BY	TDC/ADJ
DATE	11/20/2020

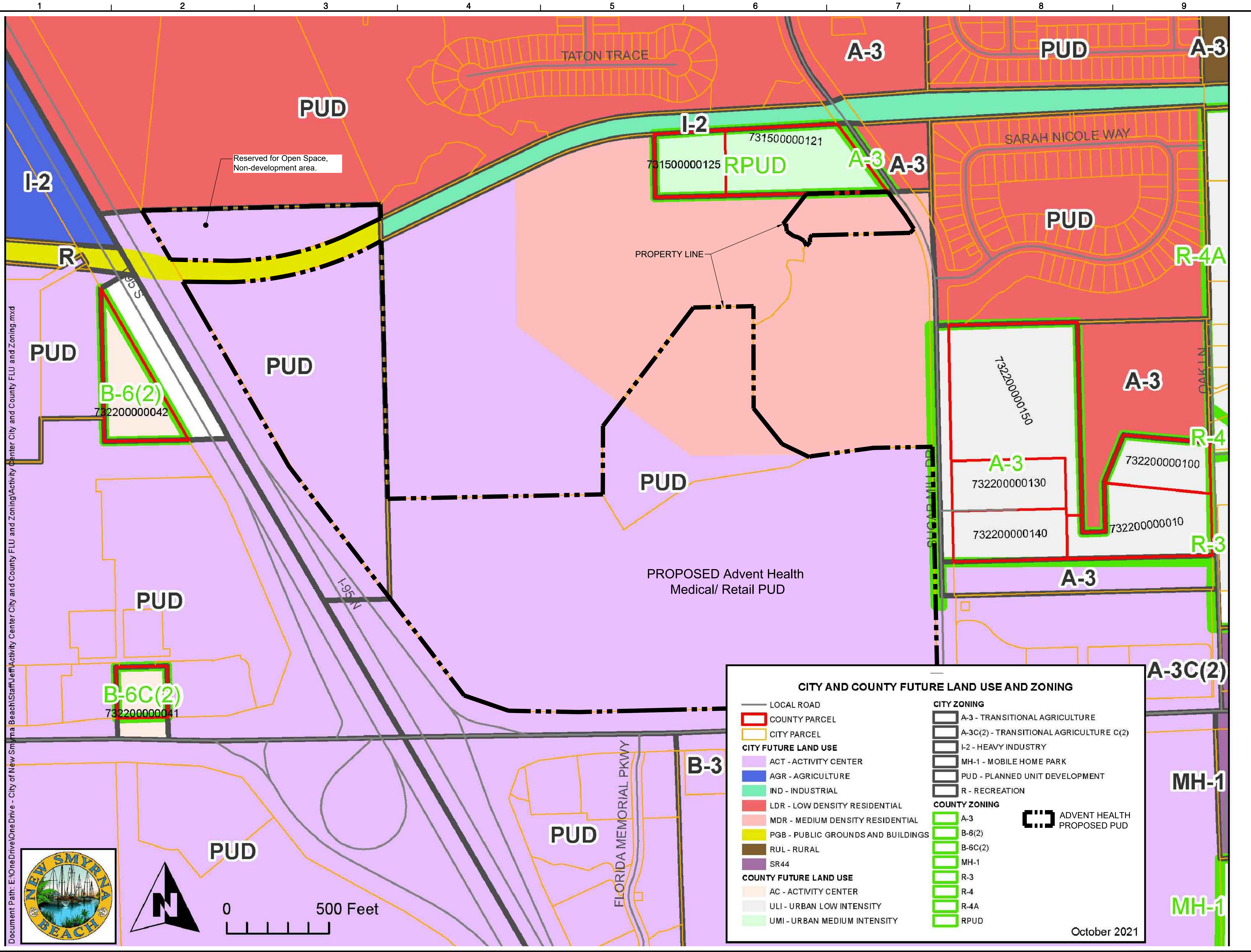
DRAWING SCALE	0 FT 75 150 North
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DRAWING TITLE
BOUNDARY & TOPOGRAPHIC MAP

DRAWING NUMBER

PUD-3





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0 500 Feet

CITY AND COUNTY FUTURE LAND USE AND ZONING

— LOCAL ROAD	COUNTY PARCEL	CITY ZONING
CITY PARCEL	ACT - ACTIVITY CENTER	A-3 - TRANSITIONAL AGRICULTURE
CITY FUTURE LAND USE	AGR - AGRICULTURE	A-3C(2) - TRANSITIONAL AGRICULTURE C(2)
IND - INDUSTRIAL	LDR - LOW DENSITY RESIDENTIAL	I-2 - HEAVY INDUSTRY
MDR - MEDIUM DENSITY RESIDENTIAL	MDR - MEDIUM DENSITY RESIDENTIAL	MH-1 - MOBILE HOME PARK
PGB - PUBLIC GROUNDS AND BUILDINGS	PUD - PLANNED UNIT DEVELOPMENT	R - RECREATION
RUL - RURAL	SR44	COUNTY ZONING
CITY FUTURE LAND USE	AC - ACTIVITY CENTER	A-3
ULI - URBAN LOW INTENSITY	UMI - URBAN MEDIUM INTENSITY	B-6(2)
		B-6C(2)
		MH-1
		R-3
		R-4
		R-4A
		RPUD

ADVENT HEALTH PROPOSED PUD

October 2021

AdventHealth
 CONSULTANTS
 Gray Robinson, PA
 Davis & Associates
 Donald W. McIntosh Associates, Inc.
 Luke Transportation Engineering Consultants, Inc.

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 NEW SMYRNA BEACH PUD**
 City of New Smyrna Beach, Florida

SEAL

ISSUED FOR:	11/20/2020 - SUBMITTAL (REVISION)
	7/27/2021 - SUBMITTAL (REVISION)
	10/4/2021 - SUBMITTAL (REVISION)
	10/21/2021 - SUBMITTAL (REVISION)

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 DATE 11/20/2020

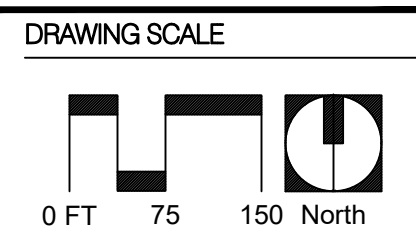
DRAWING SCALE

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DRAWING TITLE
 EXISTING ZONING & FUTURE LAND USE MAPS
 DRAWING NUMBER
PUD-4

ISSUED FOR:	11/20/2020	SUBMITTAL (REVISION)	2020-08
	7/27/2021	SUBMITTAL (REVISION)	TDC
	10/4/2021	SUBMITTAL (REVISION)	TDC

PROJECT NO.	2020-08
DESIGNED BY	TDC
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DATE	11/20/2020

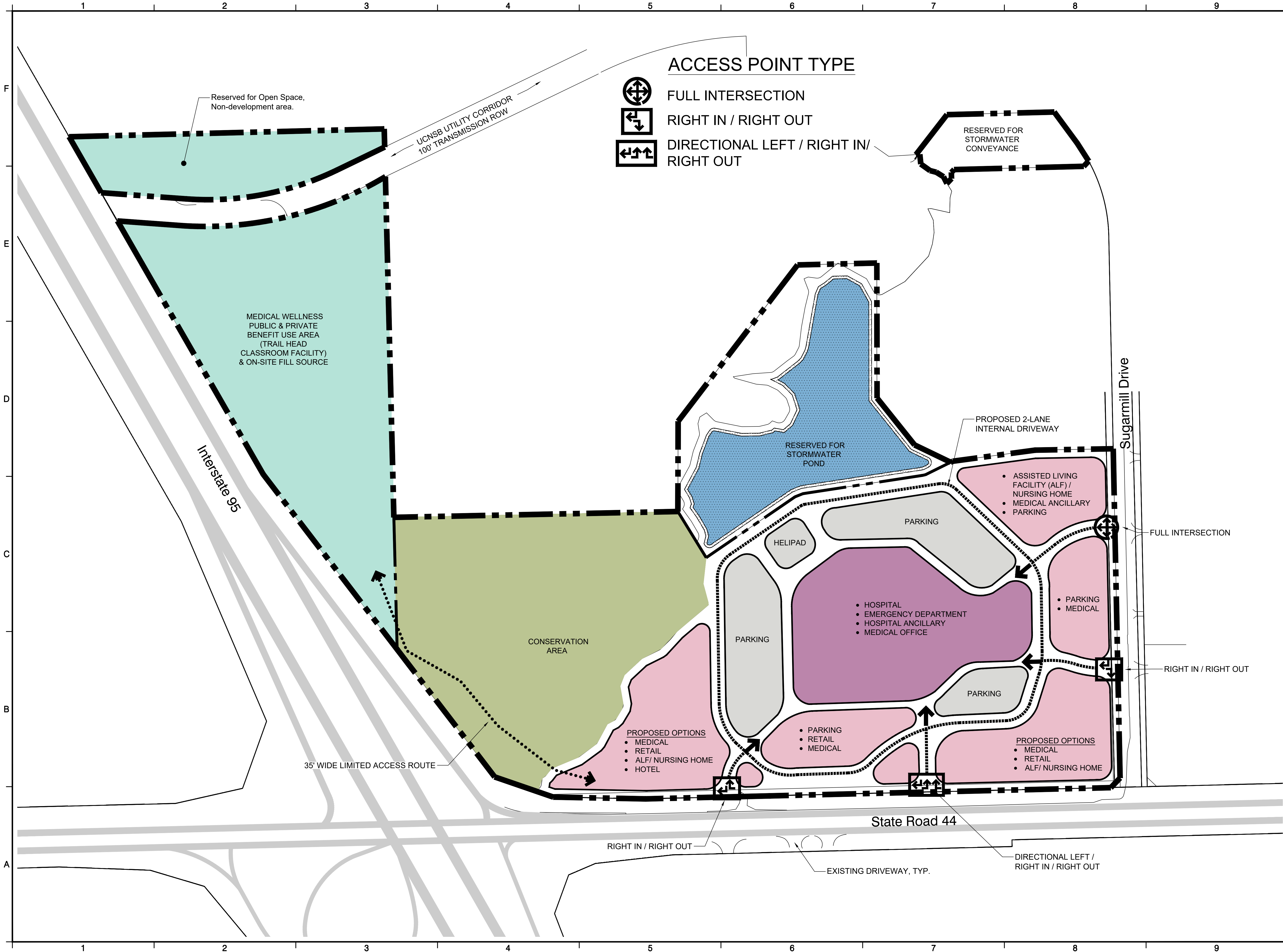


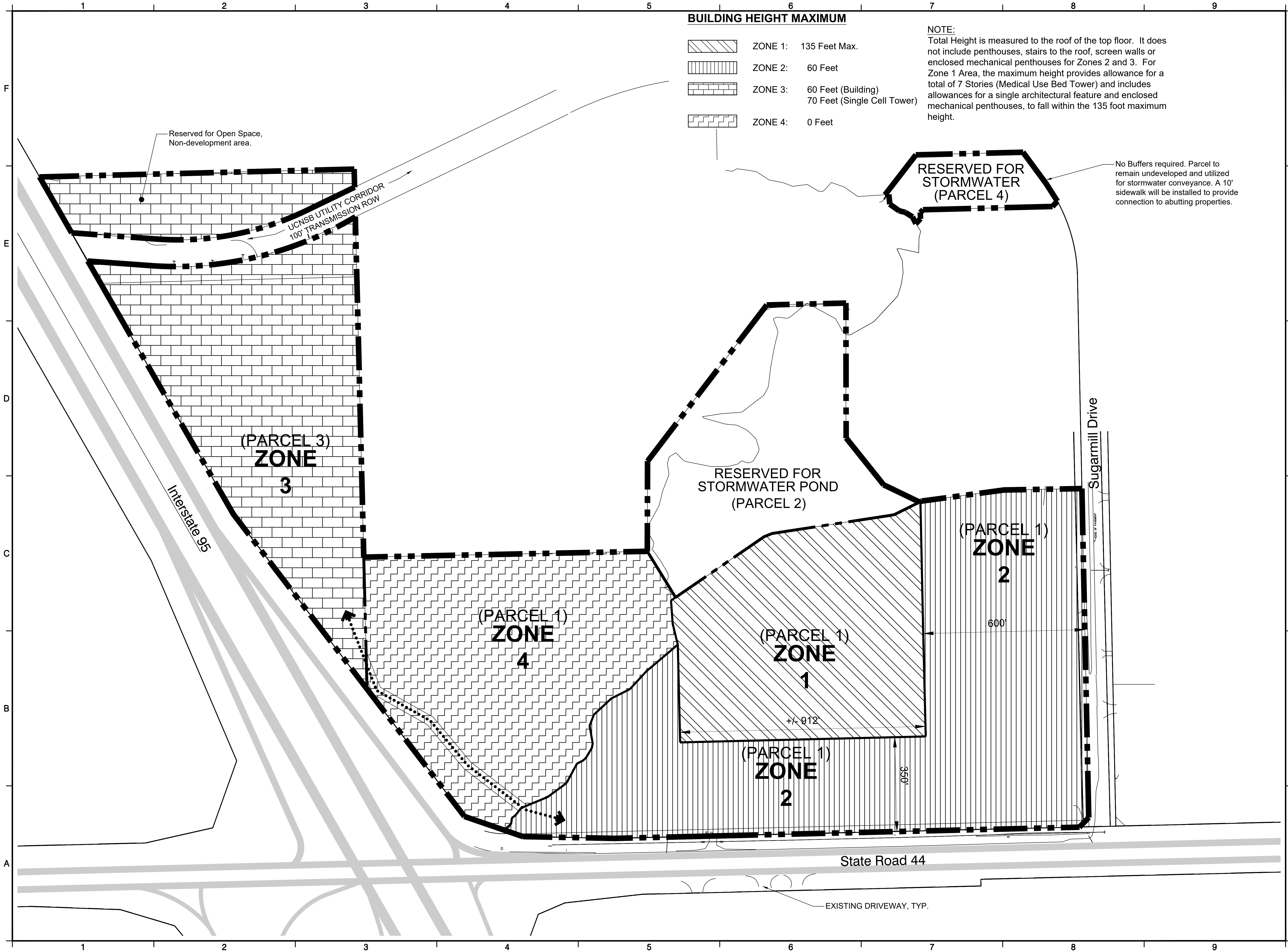
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CONCEPTUAL DEVELOPMENT PLAN

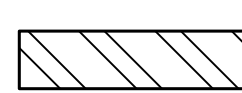

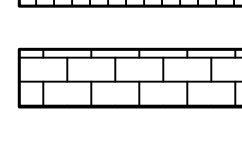
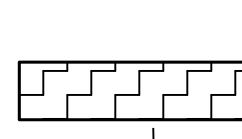
DRAWING NUMBER

PUD-5





BUILDING HEIGHT MAXIMUM

-  ZONE 1: 135 Feet Max.
-  ZONE 2: 60 Feet
-  ZONE 3: 60 Feet (Building)
70 Feet (Single Cell Tower)
-  ZONE 4: 0 Feet

NOTE:
Total Height is measured to the roof of the top floor. It does not include penthouses, stairs to the roof, screen walls or enclosed mechanical penthouses for Zones 2 and 3. For Zone 1 Area, the maximum height provides allowance for a total of 7 Stories (Medical Use Bed Tower) and includes allowances for a single architectural feature and enclosed mechanical penthouses, to fall within the 135 foot maximum height.

Reserved for Open Space,
Non-development area.

UCNSB UTILITY CORRIDOR
100' TRANSMISSION ROW

RESERVED FOR
STORMWATER
(PARCEL 4)

No Buffers required. Parcel to
remain undeveloped and utilized
for stormwater conveyance. A 10'
sidewalk will be installed to provide
connection to abutting properties.

(PARCEL 3)
ZONE
3

RESERVED FOR
STORMWATER POND
(PARCEL 2)

(PARCEL 1)
ZONE
4

(PARCEL 1)
ZONE
1

(PARCEL 1)
ZONE
2

(PARCEL 1)
ZONE
2

Interstate 95

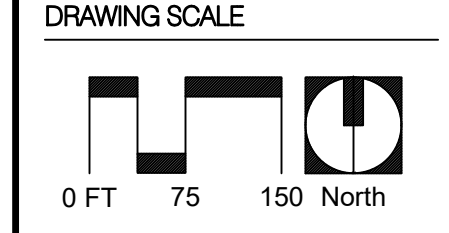
Sugarmill Drive

State Road 44

EXISTING DRIVEWAY, TYP.

ISSUED FOR:	11/20/2020 - SUBMITTAL
	7/27/2021 - SUBMITTAL (REVISION)
	10/4/2021 - SUBMITTAL (REVISION)

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DRAWING TITLE
PROPOSED BUILDING HEIGHT STANDARDS

DRAWING NUMBER
PUD-6

DEVELOPMENT PROGRAM

Land Use	Quantity	ZONE 1	ZONE 2	ZONE 3	ZONE 4
300 Bed Hospital Tower:	900,000 SF	P	N	N	N
Hospital Supportive Ancillary Uses	part of Hospital SF	P	P	P	N
Emergency Department:	30,000 SF	P	S	N	N
Medical Office: (140,230 SF) - Non-ancillary to hospital	140,230 SF	P	P	N	N
Hotel (120,000 SF +/-)	100 Rooms	P	P	N	N
Residential - Assisted Living Facility (ALF)	100 beds	P	P	N	N
Retail Uses: (40,000 SF)	40,000 SF	P1	P4	N	N
Parking: Surface & Structured (to meet code minimum)	2400± spaces	P	P	P	N
Project Identification Feature Sign	1	n/a	n/a	P2	n/a
Single Cell Tower - 70 Ft. Height allowance	1	N	N	P	N
Public Benefit/Medical Wellness Uses (Park, trail, fitness center, classroom, billboard sign, site fill)		P	P	P3	n/a

N = Not Permitted
 P = Permitted
 S = Permitted with special conditions. Not permitted within 400' of north boundary adjacent to Multi-family site.
 n/a = Not applicable

Notes:
 P1. Retail uses are permitted if operated as an ancillary use.
 P2. Maximum 20' Ht maximum 2 sign faces - (Envisioned monument sign along I-95 for public awareness)
 P3. A single existing billboard sign may be permitted until the lease expires in 2024.
 P4. See Section 5 of MDA for additional permitted uses.

PROJECT DATA SUMMARY
GENERAL INFORMATION

Total Acreage (gross): +/- 106.32 AC
 Parcel 1: +/- 65.11 AC
 Parcel 2: +/- 13.47 AC
 Parcel 3: +/- 25.21 AC
 Parcel 4: +/- 2.53 AC

Parcel 1: Alt Key: 7968843 (ZONES 1,2,& 4)
 Wetland/ Upland Buffer Acreage: +/- 19.30 AC
 Developable Land Area (Upland): +/- 45.81 AC
 Existing Zoning: PUD
 Proposed Zoning: PUD

Parcel 2: Alt Key: 7968851 (STORMWATER POND)
 Wetland Acreage: +/- 3.35 AC
 Stormwater Acreage: +/- 10.12 AC
 Existing Zoning: PUD
 Proposed Zoning: PUD

Parcel 3: Alt Key: 3712609 (ZONE 3)
 Wetland Acreage: +/- 0.97 AC
 Developable Land Area (Upland): +/- 24.23 AC
 Existing Zoning: PUD
 Proposed Zoning: PUD

Parcel 4: Alt Key: 8008458 (STORMWATER)
 Existing Zoning: PUD
 Proposed Zoning: PUD

Minimum Lot Size: 1.0 AC
 Minimum Building Separation: 20ft

Minimum Landscape Areas
 Parking Interior: 10%

Buffers:
 Type A: (see PUD-11) 50ft
 Type B: (see PUD-11) 35ft
 I-95 Perimeter Buffer: 50ft
 Property Perimeter (Rear Yard) Buffer: 25ft

BUILDING SETBACKS
 I-95: 50ft
 S.R. 44: 50ft
 Sugarmill Drive: 35ft
 Rear/ Perimeter: 25ft
 From Internal Loop Driveway: 20ft (Begins at Back of Curb)

Minimum Open Space Assignment See PUD-8 for Parcels 1, 2, 3 & 4:

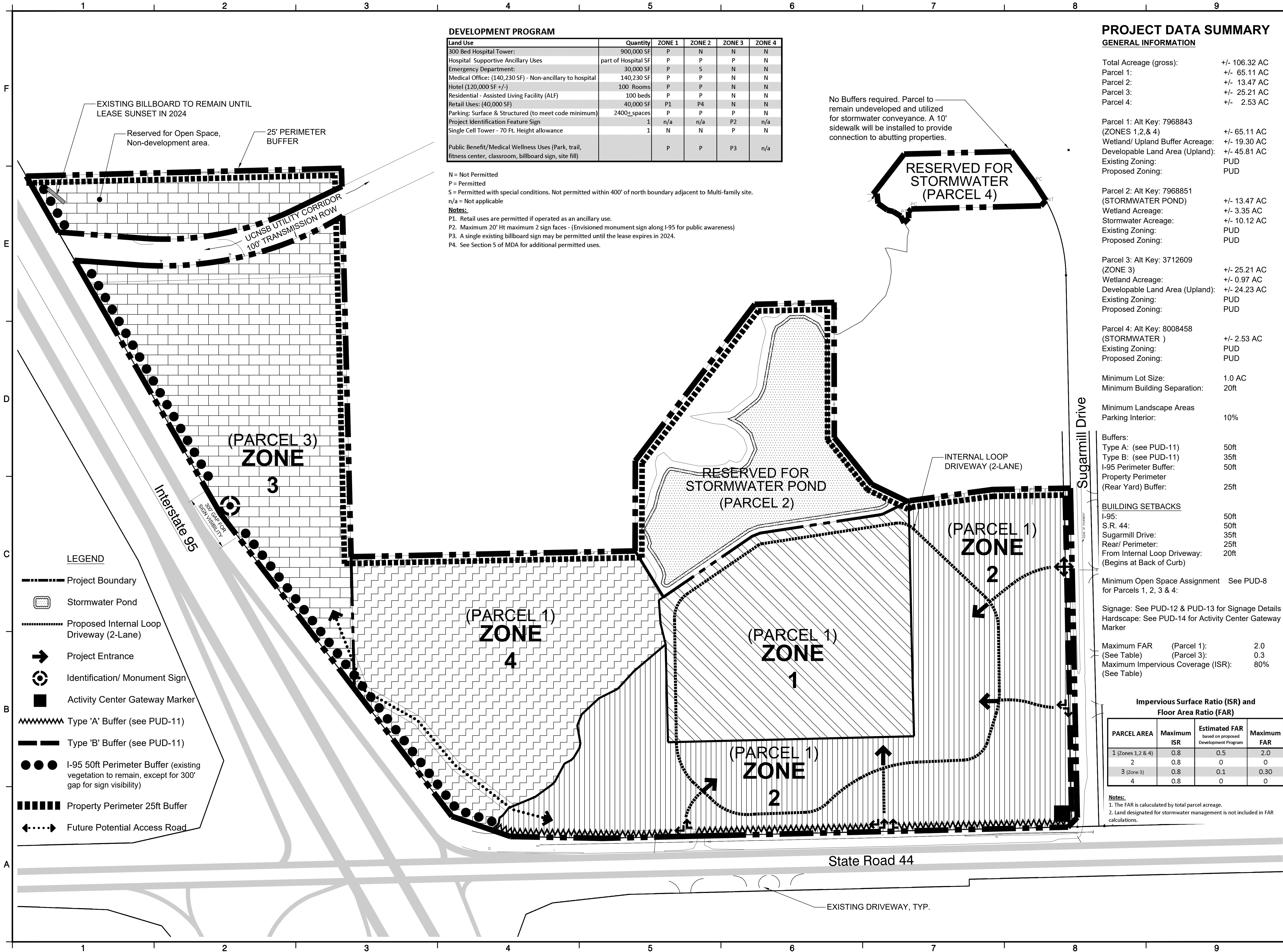
Signage: See PUD-12 & PUD-13 for Signage Details
 Hardscape: See PUD-14 for Activity Center Gateway Marker

Maximum FAR (Parcel 1): 2.0
 (See Table) (Parcel 3): 0.3
 Maximum Impervious Coverage (ISR): 80%
 (See Table)

Impervious Surface Ratio (ISR) and Floor Area Ratio (FAR)

PARCEL AREA	Maximum ISR	Estimated FAR based on proposed Development Program	Maximum FAR
1 (Zones 1,2 & 4)	0.8	0.5	2.0
2	0.8	0	0
3 (Zone 3)	0.8	0.1	0.30
4	0.8	0	0

Notes:
 1. The FAR is calculated by total parcel acreage.
 2. Land designated for stormwater management is not included in FAR calculations.



No Buffers required. Parcel to remain undeveloped and utilized for stormwater conveyance. A 10' sidewalk will be installed to provide connection to abutting properties.

RESERVED FOR STORMWATER (PARCEL 4)

RESERVED FOR STORMWATER POND (PARCEL 2)

(PARCEL 1) ZONE 2

(PARCEL 1) ZONE 4

(PARCEL 1) ZONE 1

(PARCEL 1) ZONE 2

(PARCEL 3) ZONE 3

LEGEND

- Project Boundary
- ☐ Stormwater Pond
- Proposed Internal Loop Driveway (2-Lane)
- ➔ Project Entrance
- ☉ Identification/ Monument Sign
- Activity Center Gateway Marker
- ~~~~~ Type 'A' Buffer (see PUD-11)
- Type 'B' Buffer (see PUD-11)
- I-95 50ft Perimeter Buffer (existing vegetation to remain, except for 300' gap for sign visibility)
- ▬▬▬ Property Perimeter 25ft Buffer
- ◀---▶ Future Potential Access Road

AdventHealth New Smyrna Beach PUD

Medical / Retail Center (MRC) Design Guidebook

Introduction:

Existing New Smyrna Beach Activity Center Design Guidelines (NSB DG) were prepared April 1, 2004. The intent was to create an Urban Village styled Activity Center. However, while very well conceived, it has not proven to be marketable at this location. That said, the City's primary goal with these Guidelines was to create a positive front door image at the interchange of I-95 and SR 44. The goal of the proposed MRC Design Guidebook, likewise, is to create a positive front door to the City of New Smyrna Beach. To that end, the City's Design Objectives will also be the MRC's Design Drivers. They are as follows:

- a. **Promote compatibility** and consistency between the mix of uses.
- b. **Promote connectivity** in a pedestrian friendly environment.
- c. **Coordinate development** between public and private improvements.
- d. **Create an attractive place** unique to New Smyrna Beach, not just another I-95 interchange development.

MRC Design Guidebook:

1. Goal: MRC Guidebook is intended to ensure quality development occurs in keeping with the NSB DG as a whole.

2. Provide an urban styled SR 44 pedestrian design corridor.

- A. The 10-foot wide sidewalk** (pathway) is to be located at the outer edge of the right-of-way. A curvilinear design will be provided to visually improve the pedestrian and bicyclist experience. At no point will the curvilinear design encroach into the public right-of-way.
- B. Buffer section design** will be in keeping with the existing NSB DG and are shown along both SR 44 and Sugarmill Drive. These can be found on page PUD-11.
- C. Walkway and buffer** will be designed similar to existing treatment at Walmart.

3. Three levels of proposed gateways are addressed in the NSB DG.

- A. Primary (Interstate Gateway)** is already in place at the northeast corner of I-95 and SR 44.
- B. "Secondary (SR 44 Gateway) treatments** are required at the intersection of SR 44 and north/south arterials or major collector roads." The MRC is required to design and provide the secondary gateway at the northwest corner of SR 44 and Sugarmill Drive. This has been designed and is found on page PUD-12, PUD-14, and PUD-15.
- C. Tertiary (SR 44 Gateways)** will occur at two SR 44 locations. Signage for these tertiary gateway locations may be on page PUD-12.

- **Sidewalk, landscaping and light fixtures** will be provided and pavement accent markings will be installed in the bikeways where the 10-foot wide sidewalk (pathway) crosses the tertiary entrance(s).

4. Vehicular access to buildings fronting SR 44 and Sugarmill Drive will be from an internal street to the rear or side of the parcel, and parking will be behind and to the side of the buildings. Parking lots will provide vehicular connectivity to adjacent parcels.

5. Pedestrian access between parking areas and buildings and adjacent buildings will be provided as appropriate given the specific use. Where possible, walkway designs that encourage active pedestrian use along SR 44 and Sugarmill Drive will be emphasized.

6. Building Appearance/Architectural Design:

- A. The architectural design intent** is to retain design flexibility for the building architecture while communicating AdventHealth's goal for a warm and welcoming environment.
- B. Buildings on corner lots** such as secondary (SR 44) gateways and buildings that terminate views, where possible, should incorporate additional height, massing, distinctive architectural treatments or other distinguishing fixtures to emphasize their prominent location.
- C. Entry plazas, courtyards and pocket parks** are encouraged where appropriate to the building's intended use. Maximum building heights are identified on Page PUD-6.
- D. All primary building façades**, including secondary façades, shall have aesthetic design where visible from public or private roadways and from buildings on adjacent sites within the project. Expanses of inactive building frontage must be avoided by the use of architectural features, articulations and transparencies. Attention is to be given to finishes which complement the desired warm and welcoming atmosphere.

- **Accessory structures** including dumpster enclosures shall blend with the architectural appearance of the associated building.

E. To improve the pedestrian scale, buildings, where possible, should present clear horizontal parts, base, middle and top. Cornice lines or other architectural elements are encouraged to help create a recognizable base to the structure, reduce bulk and help unify a building's façade.

F. To enhance the pedestrian experience, where buildings are adjacent to primary walkways, elevation fenestration, articulation, or variations in building material should occur within increments of 25-75 linear feet at the ground level.

G. Exterior architectural surfaces are to be constructed of durable, permanent, low maintenance architectural materials. Colors and finishes should be muted tones of natural materials such as brick or stone, cement, plaster, stucco, textured masonry, or other

similar materials. Architectural features, ornamentation, and details may use more intense colors. Highly reflective and glaring materials, synthetic materials resembling masonry and plaster are strongly discouraged. Building lighting should complement the architectural character, as well as provide for secure and safe spaces.

H. Roof features and variations that create interest and scale are encouraged. Functional roof spaces such as open space, sitting areas, and terraces are desired where appropriate.

I. Roof treatments are to have a recognizable roof treatment whether sloped or flat to provide visual interest, reduce massing, and improve aesthetics.

- **Roof mounted mechanical equipment**, including satellite dishes, AC units, elevator equipment, etc., shall be screened so as not to be visible from the ground. Screening material shall be finished consistent with the building.
- **Screening of mechanical equipment** is required and must be screened behind parapets or by recessing equipment into hips, gables or similar features.
- **Prohibited roofs** are any with mansard design including backlit awnings used as mansard or canopy roofs.

J. Communication signal equipment, if any, shall blend visually with the building architecture.

K. No Drive-through facilities are permitted facing SR 44. One-way and single lane service drives are permitted parallel to SR 44 between the face of building and required SR 44 buffer treatment.

L. Streetscape furnishings, such as street and parking lot lighting, park benches, trash receptacles, etc. will be consistent in design to promote overall design continuity. All benches, trash receptacles and bike racks shall be installed by surface mounting methods. Each bench available to the general public shall be equipped with intermediate armrests. Planter pots, where appropriate, will be encouraged so long as not impeding pedestrian traffic.

M. Above ground utilities (big uglies) shall be screened to the maximum extent while allowing required service access. There are to be none of these facing SR 44 unless specifically required by the service supplier.

N. All landscaped areas will be provided with fully automatic irrigation systems zoned by turf and shrub areas. The system will also be zoned to accommodate the landscape design based on high, medium and low water uses.

7. Landscape and Buffer Treatments

- A. Buffer zones** along S.R. 44 & Sugarmill Dr. will be designed to complement Coastal Woods Tract E, East Parcel buffer installation. Buffer design details may be found on page PUD-11.
- B. Landscaping intent** is to assist in providing a unified and cohesive MRC appearance, accent development architecture, define outdoor spaces, and provide buffers and screens.
- C. Landscape design and grading** should be created to enhance the visual presence of each building.

- **Existing trees within the SR 44 front buffer zone** are to be maintained to the extent possible and protected during construction. Existing trees, if out of character with the overall professional, high quality MRC design image, may be removed and replaced with more appropriate trees subject to City Staff approval.

- **Shade areas** are to be provided along pedestrian walkways, within buffer areas, at a minimum of 100 SF of shaded area per 100 linear feet of walkway.

8. Stormwater management facilities are to be constructed in a manner that enhances the overall visual appeal. At a minimum, these facilities are to maintain a 4:1 side slope, remain unfenced, utilize a natural, curvilinear slope and be landscaped, and provide a minimum buffer width of 15 feet.

A. For each 100 linear feet, or fraction thereof, of boundary, the following plants shall be provided:

- (4) shade trees
- (5) accent trees
- (20) tall shrubs
- (60) medium shrubs
- Ground cover of mulch
- Fountains are encouraged to accent ponds and provide aeration.

9. The minimum lot/parcel size is set at 1.0 acres; however, an exception is made for smaller lot sizes if there is a master drainage plan as part of the MRC.

10. Parking Lots: Parking shall be as provided per City Code except as follows:

- A. Parking shall be designed** in ways to reduce conflicts between pedestrians and vehicles and avoid a sea of asphalt along SR 44 frontage.
- B. Parking is permitted** along the side and rear areas of primary buildings. There is to be no parking in front of any building along SR 44.
- C. Landscaped islands and shade trees** are to be used to segment large parking lots. Where possible, no parking field is to exceed 120 spaces. This standard will not be feasible for the Hospital, or any other medical building where patient parking in close proximity to the facility's entry, will be the priority. That said, landscape islands must be provided every 10 spaces or less.

D. Parking is to be screened from public right-of-way (SR 44 & Sugarmill Drive). Internal secondary roadways will not be public right-of-way; however, some level of landscape buffer, even along these non-public roads, will be provided, where possible.

11. Safe pedestrian circulation systems are to be provided connecting public sidewalks, buildings and adjacent parcels.

A. Pedestrian walkways adjacent to buildings are to be differentiated from driving surfaces utilizing a change in material and will be constructed at a higher grade of one (1) step up (except for roadway crosswalks) and shall be landscaped and have pedestrian scale lighting. An alternate design solution can incorporate decorative bollards between pedestrian walks and driving surfaces where a flush walk system is practical for medical safety reasons to eliminate trip hazards.

B. Crosswalks will not be raised surfaces but at grade with the roadway within the medical campus area. This is to avoid unnecessary emergency patient bumps that may cause serious medical issues for patients arriving by emergency vehicles.

12. General signage design standards are found on page PUD-12.

A. Sign Standards for hospital, medical or ancillary structures are found on pages PUD-12, 13, 14 & 15.

B. Non-AdventHealth signs shall follow the City's Sign Ordinance, except as follows:

- An identity monument sign with 2 sides is permitted for each parcel. These signs will identify the building (tenant) as a whole and/or its predominant use. Multiple tenants within one building or connected series of buildings on a lot may be identified with one shared monument sign.

C. Specific monument sign details are as follows:

- The sign shall be located in private landscape zone in the approximate middle of the parcel frontage and oriented to SR44 (meaning perpendicular). Parcel frontage on Sugarmill Drive shall be oriented to Sugarmill Drive.

- Sign size - 48 square feet.

- Maximum height - 8 feet.

- Sign is to be internally or externally illuminated.

- Additional sign - a secondary gateway corner parcel is required to provide 2 primary façades and may provide an additional identity monument sign of 32 square feet.

- Signs shall be designed to complement the architecture of the building and meet the following:

1. A basic sign box with squared off corners within an unpainted aluminum frame is not permitted.
2. An architectural sign base shall be provided that is constructed of the same material utilized for the primary structure.

D. Landscaping of shrubs shall occur at the base of all signs.

AH HOSPITAL ANCILLARY DEFINITION

(1) Permitted Hospital Ancillary Uses - The following uses and structures are permitted on the Hospital Property:

- (a) A use is ancillary to hospital use within the Hospital Project if:
 - (i) The use or service is included under the licensure of a hospital pursuant to Chapter 395, Florida Statutes; and/or
 - (ii) The use or service is restricted to persons currently either admitted to or registered with the hospital as inpatients or outpatients; and/or
 - (iii) The use or service provides for diagnosis and treatment of human disease including related educational functions.

Any uses or services which are part of the hospital's daily operation and maintenance, including, without limitation, administration, finance, human resources, support services and utility infrastructure such as elevators, chillers, maintenance shafts, stairwells and the like, are considered ancillary uses.

Ancillary uses as applied to the Hospital land use shall include, without limitation, the following:

- a. Emergency Department expansion.
- b. Pharmacy operated by Advent Health; not for retail to general public.
- c. Chapel.
- d. Gift shop.
- e. Dining facilities.
- f. Outpatient surgery center.
- g. Outpatient departments operated by Advent Health, including, without limitation, radiology, oncology, diabetes, pain management, surgery and/or rehabilitation center.
- h. Family practice clinic.
- i. Home health care services provided to patients of Advent Health.
- j. On-site day care facility used by Advent Health patients or employees.
- k. Health care and wellness related education facilities.
- l. Wellness center.
- m. Outpatient/ambulatory surgical center with recovery beds for up to 72 hours.

- n. Therapy or treatment center.
- o. Other facilities and uses may be determined by the City to be ancillary uses based on a case-by-case assessment as may be approved by the City's Development Review Committee ("DRC").

Professional/medical office space and any other space leased exclusively to private physicians not employed by AdventHealth would not meet this definition of ancillary use.

As medical technology and practice changes, it is contemplated that these ancillary uses may be amended from time to time by the City's DRC to clarify other proposed uses which may be considered ancillary to a hospital use.

- (a) Stand-alone Emergency Department providing emergency medical services.
- (b) Medically related professional and business offices, clinics, and laboratories.
- (c) Helicopter landing site.
- (d) Stormwater and aesthetic pond(s).
- (e) Any other hospital, health care or medically related use that, in the administrative judgment of the City Planning Director, is consistent in terms of impact, use, and compatibility with the foregoing permitted uses included in this subsection and that will not detract from the character of the Hospital Project, and that, further, is in harmony with the spirit of this Ordinance/Document.

LAND USE EQUIVALENCY CONVERSION MATRIX								
AdventHealth-New Smyrna Beach								
Trip Equivalency Conversion Matrix (Based on P.M. Peak Hour 2-Way Trip Generation) (1)								
Change From Land Use:	Change From Size	Change To Land Use:					ITE Land Use	
		ALF	Hotel	Hospital	Medical Office	Retail	PM Peak 2-Way Trip Rate (1)	ITE Code
ALF	1 Bed		0.356 Rm	0.150 Bed	0.076 KSF	0.038 KSF	0.26 Trips per 1 Bed	254
Hotel	1 Rm	2.808 Bed		0.421 Bed	0.215 KSF	0.106 KSF	0.73 Trips per 1 Room	310
Hospital	1 Bed	0.007 Bed	0.002 Rm		0.001 KSF	0.000 KSF	1.73 Trips per Bed	610
Medical Office	1,000 SF	13.077 Bed	4.658 Rm	1.962 Bed		0.493 KSF	3.40 Trips per 1,000 SF	720
Retail	1,000 SF	26.523 Bed	9.447 Rm	3.979 Bed	2.028 KSF		6.90 Trips per 1,000 SF	820
Example: To convert 10,000 SF of Medical Office space to equivalent ALF, Hotel or Retail. To ALF: 10,000 / 1,000 x 13.077 = 130.8 Bed's. Use 130 Bed's. To Hotel: 10,000 / 1,000 x 4.658 = 46.6 Rm's. Use 46 Room's. To Retail: 10,000 / 1,000 x 0.493 = 4.93 KSF. Use 4,900 SF.								
To check if equivalent land use trip threshold is the same: 10,000 SF Medical Office = 10,000 / 1,000 x 3.40 = 34.00 PM Peak Hour 2-Way Trips. Use 34. ALF: 130 x 0.26 = 33.80 PM Peak Hour 2-Way Trips. Use 34. Hotel: 46 x 0.73 = 33.58 PM Peak Hour 2-Way Trips. Use 34. Retail: (4,900 / 1,000) x 6.90 = 33.79 PM Peak Hour 2-Way Trips. Use 34.								
Estimated Trip Generation Rates (2)								
Land Use	Land Use ITE Average Size	ITE Land Use Code (3)	Trip Generation Rates					
			Daily	P.M. Peak Hour				
			Total	Enter	Exit			
ALF	100 Beds	254 / R	2.60	0.26	0.10			
Hotel	100 Rm	310 / R	12.23	0.73	0.36			
Hospital	300 Beds	610 / R / E	22.32	1.73	0.49			
Medical Office	140,230 SF	720 / E	37.80	3.40	0.95			
Retail	40,000 SF	820 / E	80.60	6.90	3.31			

(1) Conversion factors based upon PM Peak Hour 2-Way Trip Generation Rates from ITE 10th Edition Trip Generation Report.
 (2) Trip Generation Rates from 10th Edition of ITE Trip Generation Report, 2012.
 (3) ITE Land Use Code Number / E = Fitted Curve Equation or R = Average Trip Rate
Luke Transportation Engineering Consultants, Inc., 2020



CONSULTANTS

Gray Robinson, PA

Davis & Associates

Donald W. McIntosh Associates, Inc.

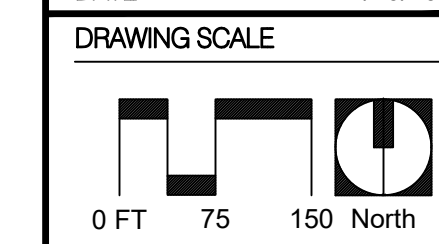
Luke Transportation Engineering Consultants, Inc.

ADVENT HEALTH
NEW SMYRNA BEACH PUD
 City of New Smyrna Beach, Florida

SEAL

ISSUED FOR:	11/20/2020	SUBMITTAL
	7/21/2021	SUBMITTAL (REVISION)
	10/4/2021	SUBMITTAL (REVISION)

PROJECT NO.	2020-08
DESIGNED BY	TDC
DRAWN BY	TDC
CHECKED BY	TDC/AJ
DATE	11/20/2020

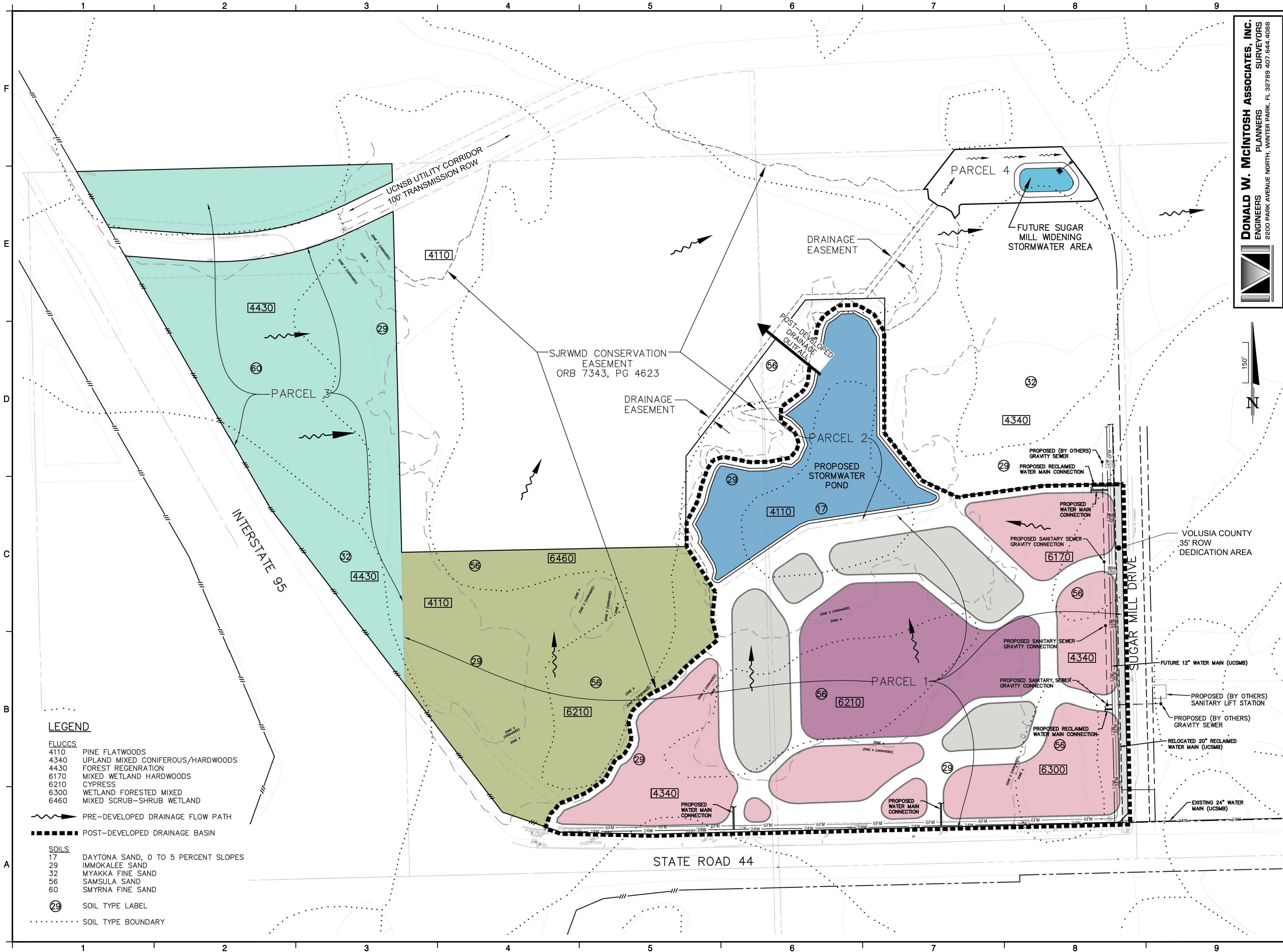


DRAWING TITLE

DESIGN STANDARDS

DRAWING NUMBER

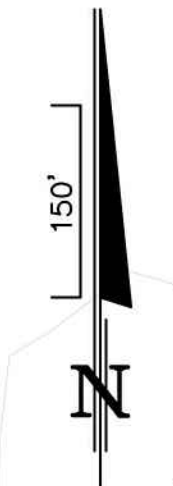
PUD-7A



LEGEND

- FLUCCS**
- 4110 PINE FLATWOODS
 - 4340 UPLAND MIXED CONIFEROUS/HARDWOODS
 - 4430 FOREST REGENERATION
 - 6170 MIXED WETLAND HARDWOODS
 - 6210 CYPRESS
 - 6300 WETLAND FORESTED MIXED
 - 6460 MIXED SCRUB-SHRUB WETLAND
- PRE-DEVELOPED DRAINAGE FLOW PATH
 POST-DEVELOPED DRAINAGE BASIN
- SOILS**
- 17 DAYTONA SAND, 0 TO 5 PERCENT SLOPES
 - 29 IMMOKALEE SAND
 - 32 MYAKKA FINE SAND
 - 56 SAMSLA SAND
 - 60 SMYRNA FINE SAND
- SOIL TYPE LABEL
 SOIL TYPE BOUNDARY

DONALD W. MCINTOSH ASSOCIATES, INC.
 ENGINEERS
 PLANNERS
 SURVEYORS
 2800 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4088



AdventHealth
 CONSULTANTS
 Gray Robinson, PA
 Davis & Associates
 Donald W. McIntosh Associates, Inc.
 Luke Transportation Engineering Consultants, Inc.

ADVENT HEALTH
NEW SMYRNA BEACH PUD
 City of New Smyrna Beach, Florida

SEAL

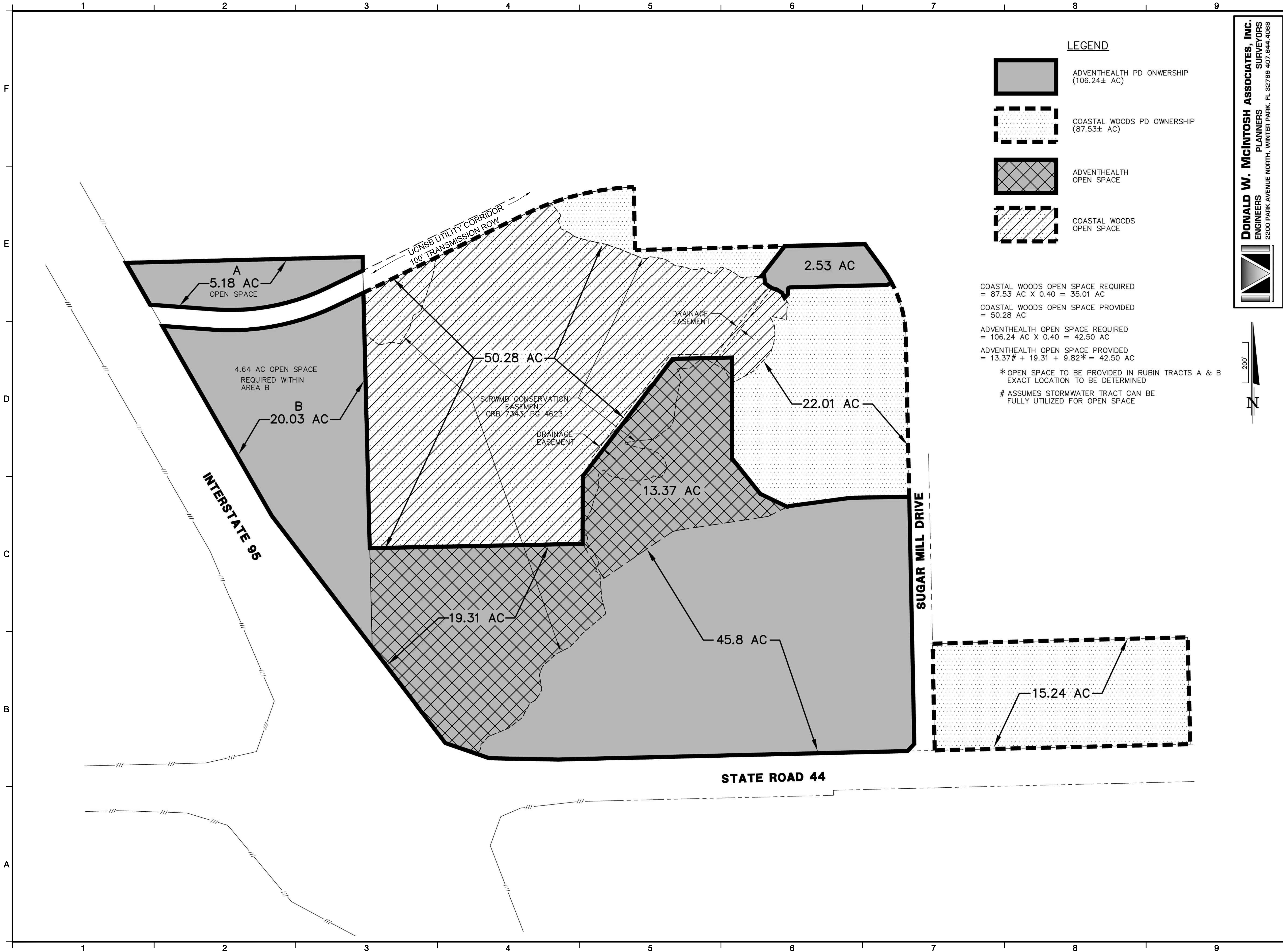
ISSUED FOR:	11/20/2020 SUBMITTAL (REVISION)
	7/27/2021 SUBMITTAL (REVISION)
	10/4/2021 SUBMITTAL (REVISION)
PROJECT NO.	20541
DESIGNED BY	MAB
DRAWN BY	STAFF
CHECKED BY	JTT
DATE	11/20/2020

DRAWING SCALE


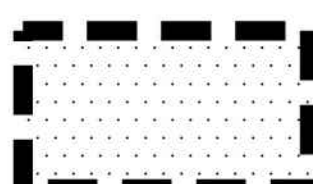

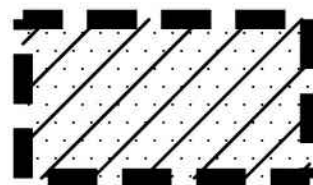
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DRAWING TITLE
 INFRASTRUCTURE & DRAINAGE DATA

DRAWING NUMBER
PUD-8



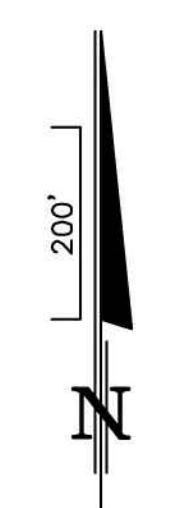
LEGEND

-  ADVENTHEALTH PD OWNERSHIP (106.24± AC)
-  COASTAL WOODS PD OWNERSHIP (87.53± AC)
-  ADVENTHEALTH OPEN SPACE
-  COASTAL WOODS OPEN SPACE

COASTAL WOODS OPEN SPACE REQUIRED = 87.53 AC X 0.40 = 35.01 AC
 COASTAL WOODS OPEN SPACE PROVIDED = 50.28 AC
 ADVENTHEALTH OPEN SPACE REQUIRED = 106.24 AC X 0.40 = 42.50 AC
 ADVENTHEALTH OPEN SPACE PROVIDED = 13.37# + 19.31 + 9.82* = 42.50 AC

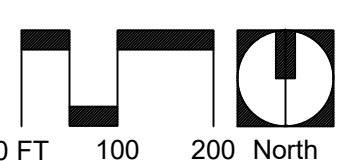
* OPEN SPACE TO BE PROVIDED IN RUBIN TRACTS A & B EXACT LOCATION TO BE DETERMINED
 # ASSUMES STORMWATER TRACT CAN BE FULLY UTILIZED FOR OPEN SPACE

DONALD W. MCINTOSH ASSOCIATES, INC.
 ENGINEERS
 2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4088
PLANNERS SURVEYORS



SEAL

ISSUED FOR:	PROJECT NO.
11/20/2020 - SUBMITTAL	20541
7/27/2021 - SUBMITTAL (REVISION)	DESIGNED BY JTT
10/4/2021 - SUBMITTAL (REVISION)	DRAWN BY STAFF
	CHECKED BY JTT
	DATE 11/20/2020

DRAWING SCALE

 0 FT 100 200 North

DRAWING TITLE
 OPEN SPACE TABULATION

DRAWING NUMBER
PUD-9

**ADVENT HEALTH
NEW SMYRNA BEACH PUD**
City of New Smyrna Beach, Florida

SEAL

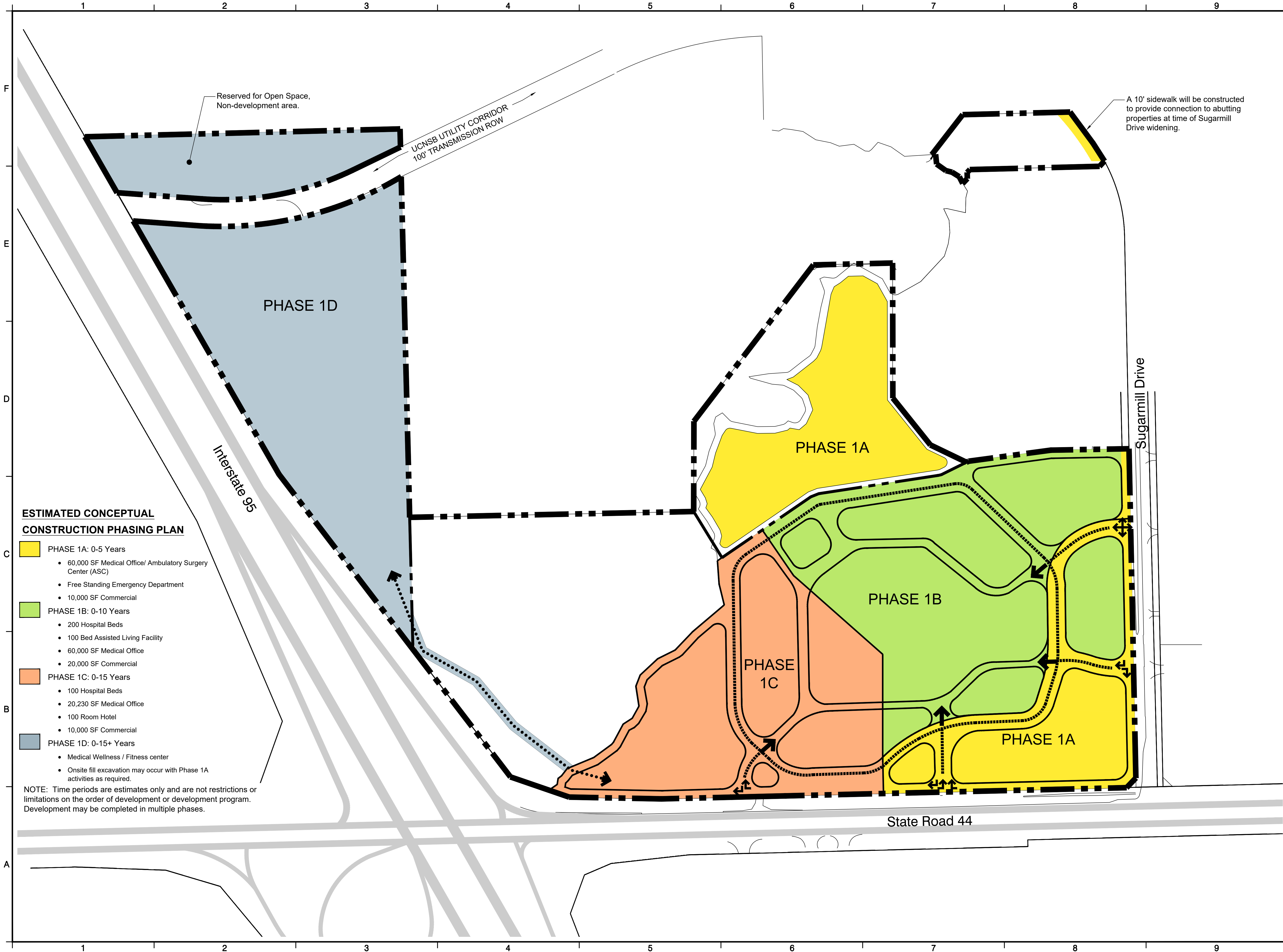
ISSUED FOR:	11/20/2020	SUBMITTAL (REVISION)
	7/27/2021	SUBMITTAL (REVISION)
	10/4/2021	SUBMITTAL (REVISION)

PROJECT NO.	2020-08
DESIGNED BY	TDC
DRAWN BY	TDC
CHECKED BY	TDC/ADJ
DATE	11/20/2020

DRAWING SCALE
0 FT 75 150 North

DRAWING TITLE
CONSTRUCTION PHASING PLAN

DRAWING NUMBER
PUD-10



**ESTIMATED CONCEPTUAL
CONSTRUCTION PHASING PLAN**

- PHASE 1A: 0-5 Years
 - 60,000 SF Medical Office/ Ambulatory Surgery Center (ASC)
 - Free Standing Emergency Department
 - 10,000 SF Commercial
- PHASE 1B: 0-10 Years
 - 200 Hospital Beds
 - 100 Bed Assisted Living Facility
 - 60,000 SF Medical Office
 - 20,000 SF Commercial
- PHASE 1C: 0-15 Years
 - 100 Hospital Beds
 - 20,230 SF Medical Office
 - 100 Room Hotel
 - 10,000 SF Commercial
- PHASE 1D: 0-15+ Years
 - Medical Wellness / Fitness center
 - Onsite fill excavation may occur with Phase 1A activities as required.

NOTE: Time periods are estimates only and are not restrictions or limitations on the order of development or development program. Development may be completed in multiple phases.

ISSUED FOR:	
11/20/2020 SUBMITTAL (REVISION)	
7/27/2021 SUBMITTAL (REVISION)	
10/4/2021 SUBMITTAL (REVISION)	

PROJECT NO.	2020-08
DESIGNED BY	TDC
DRAWN BY	TDC
CHECKED BY	TDC/ADJ
DATE	11/20/2020

DRAWING SCALE

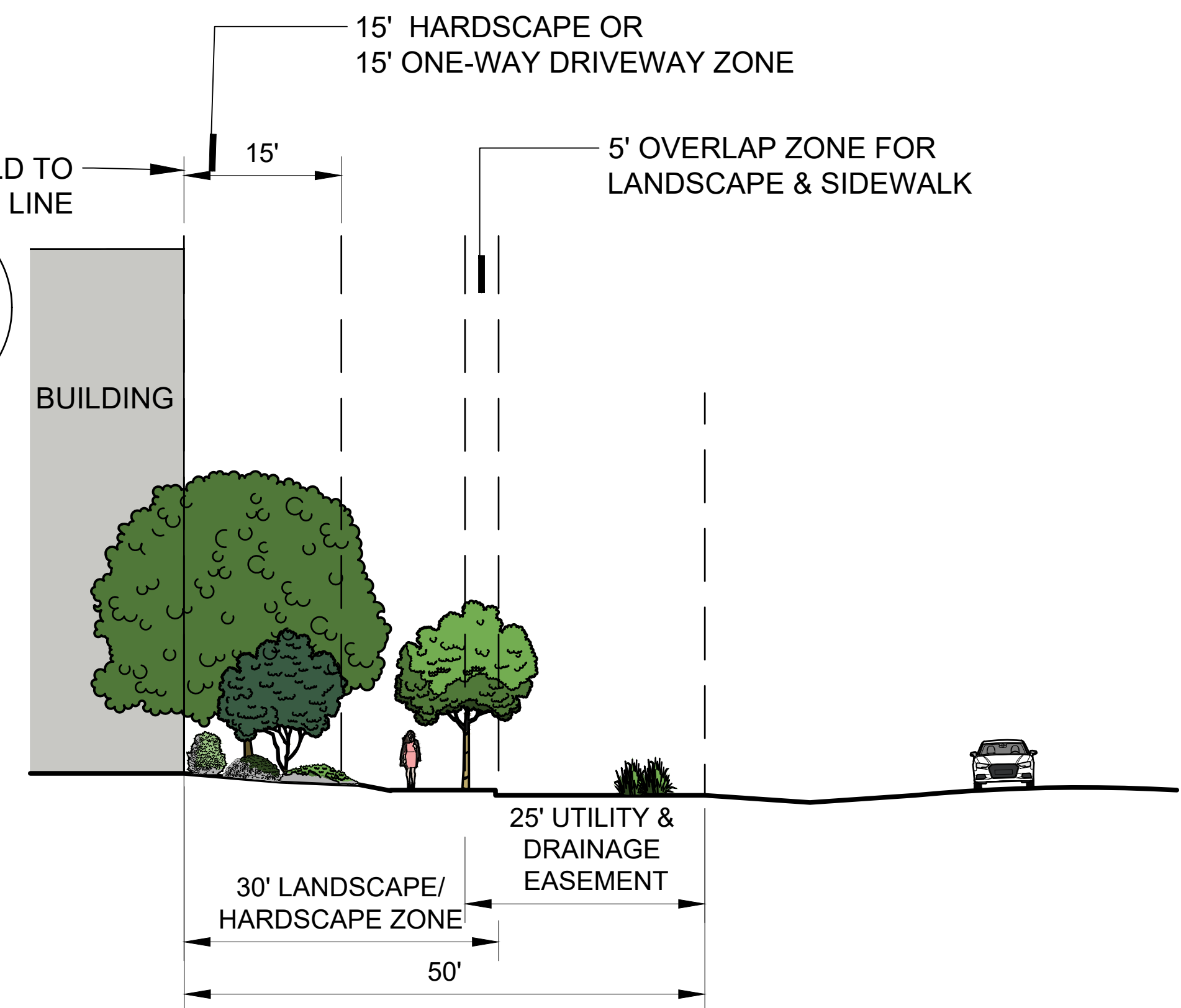
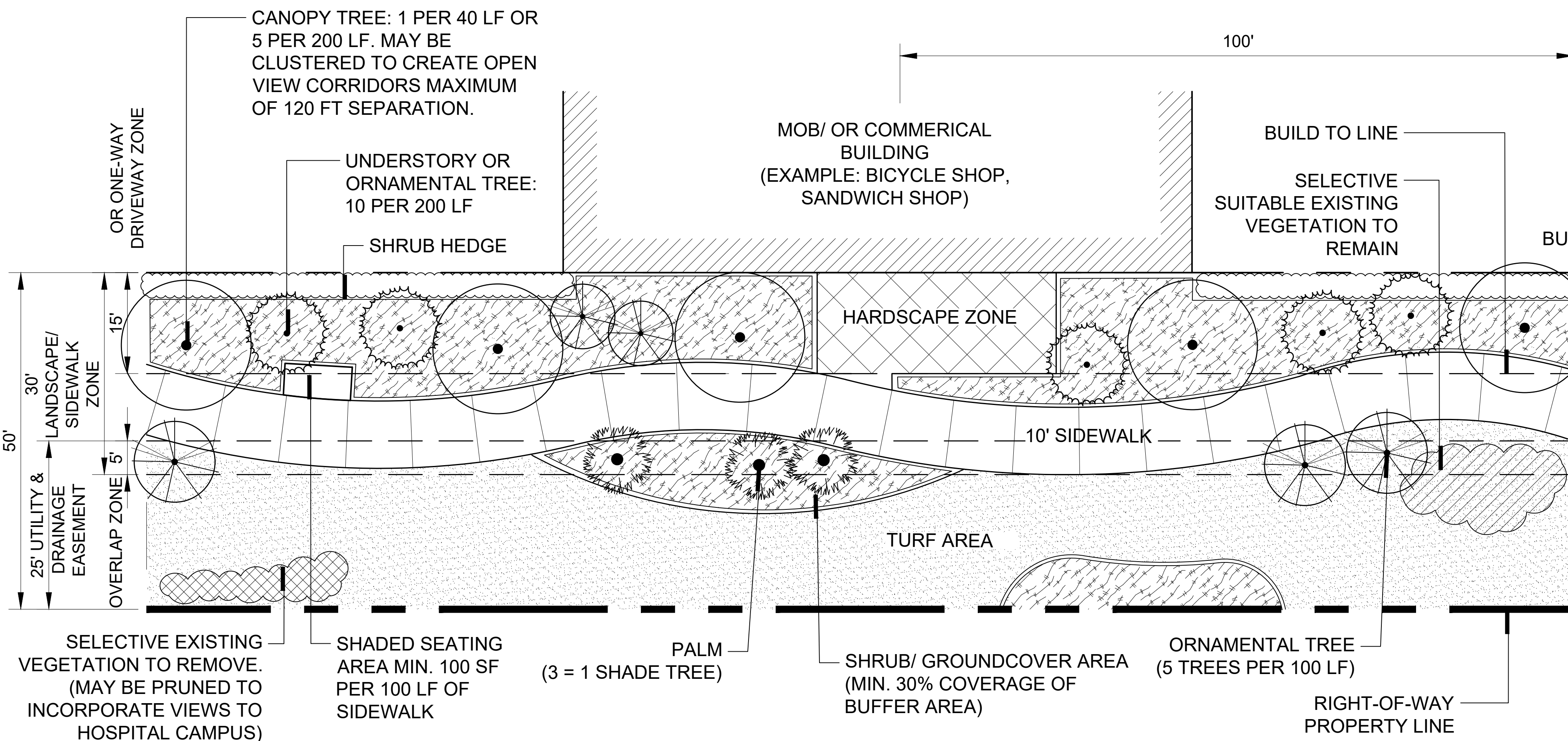
NOT TO SCALE

DRAWING TITLE

LANDSCAPE BUFFER DETAILS

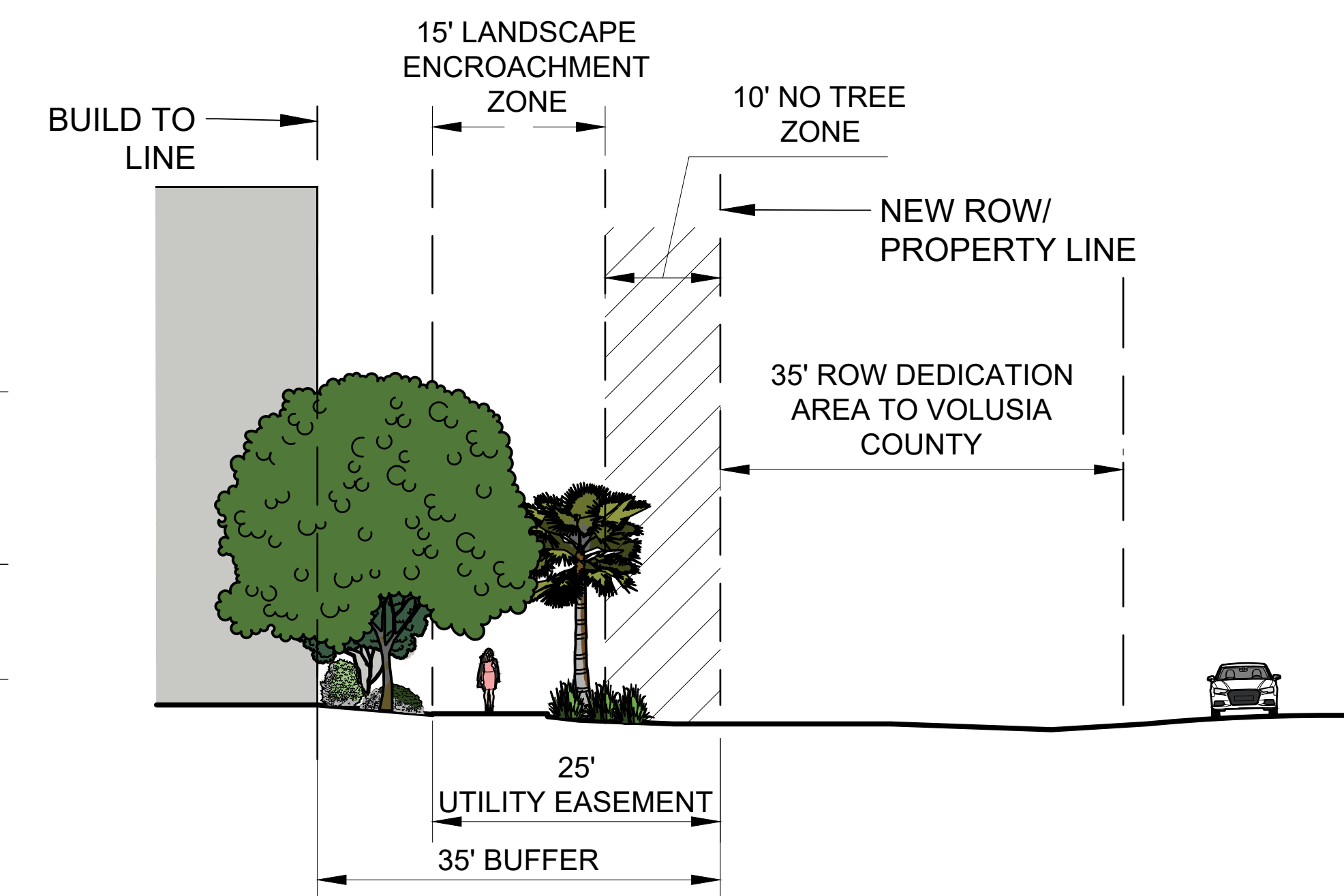
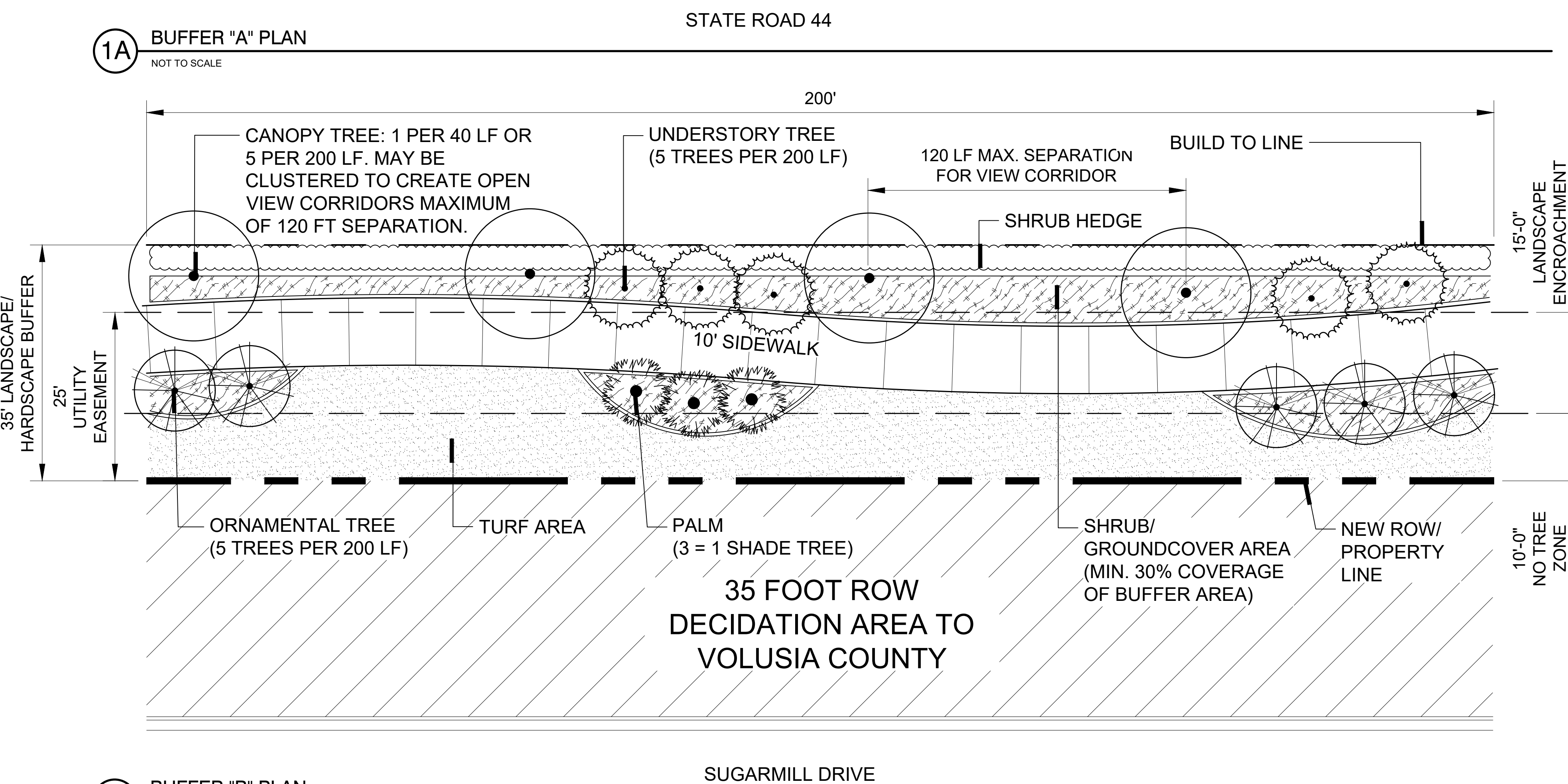
DRAWING NUMBER

PUD-11



1A BUFFER "A" PLAN
 NOT TO SCALE

2A BUFFER "A" SECTION
 NOT TO SCALE



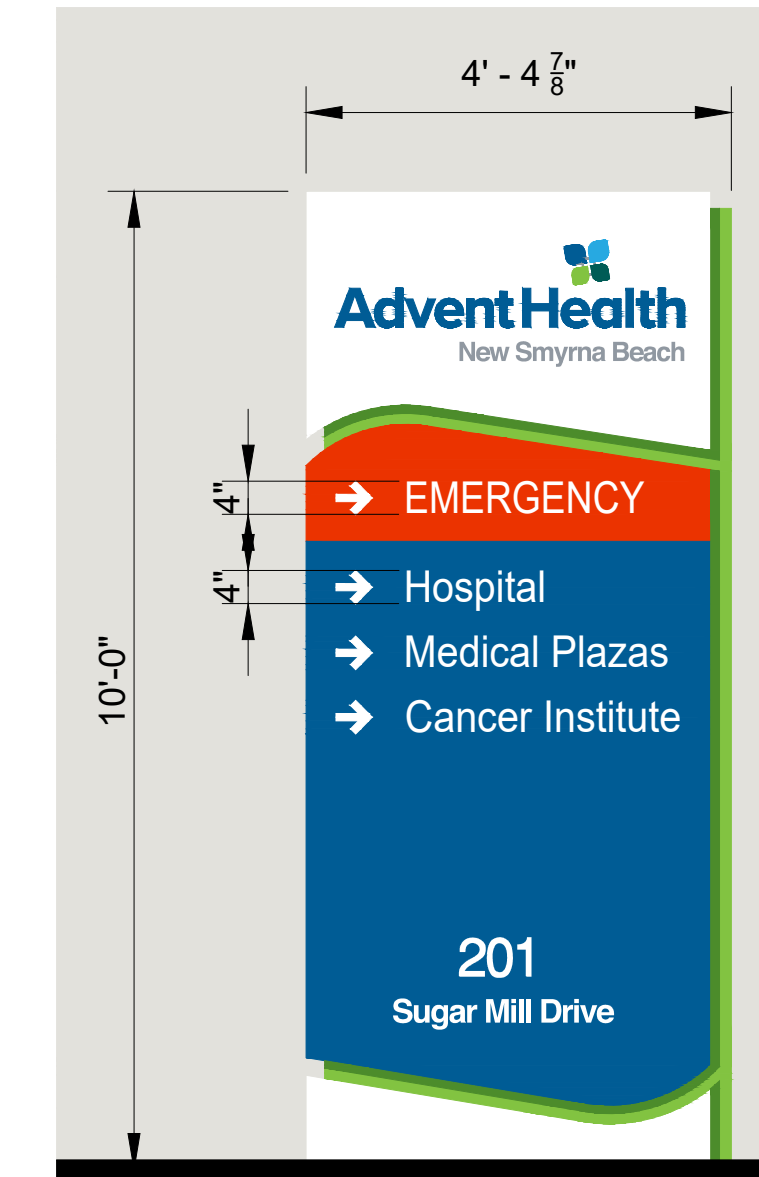
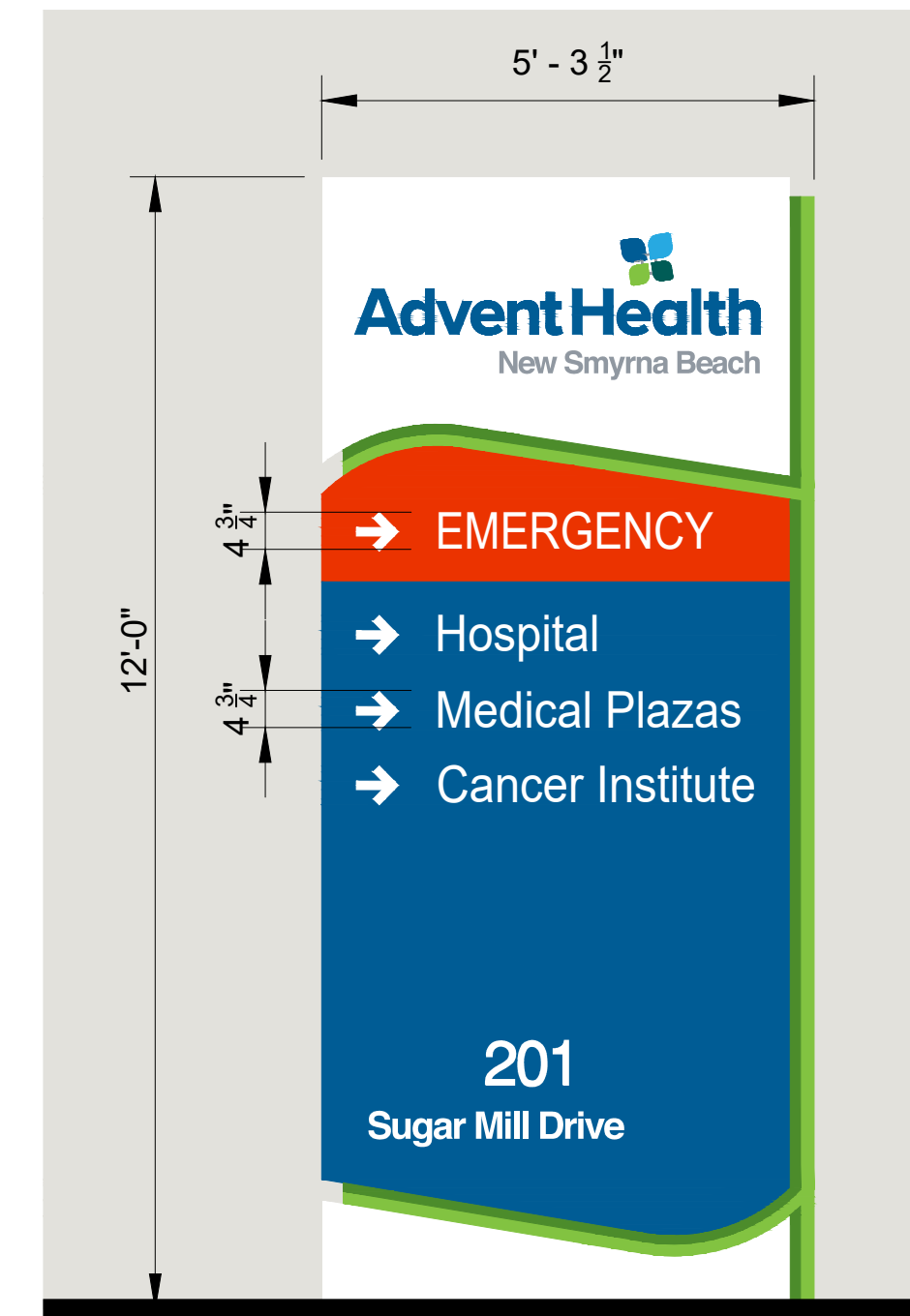
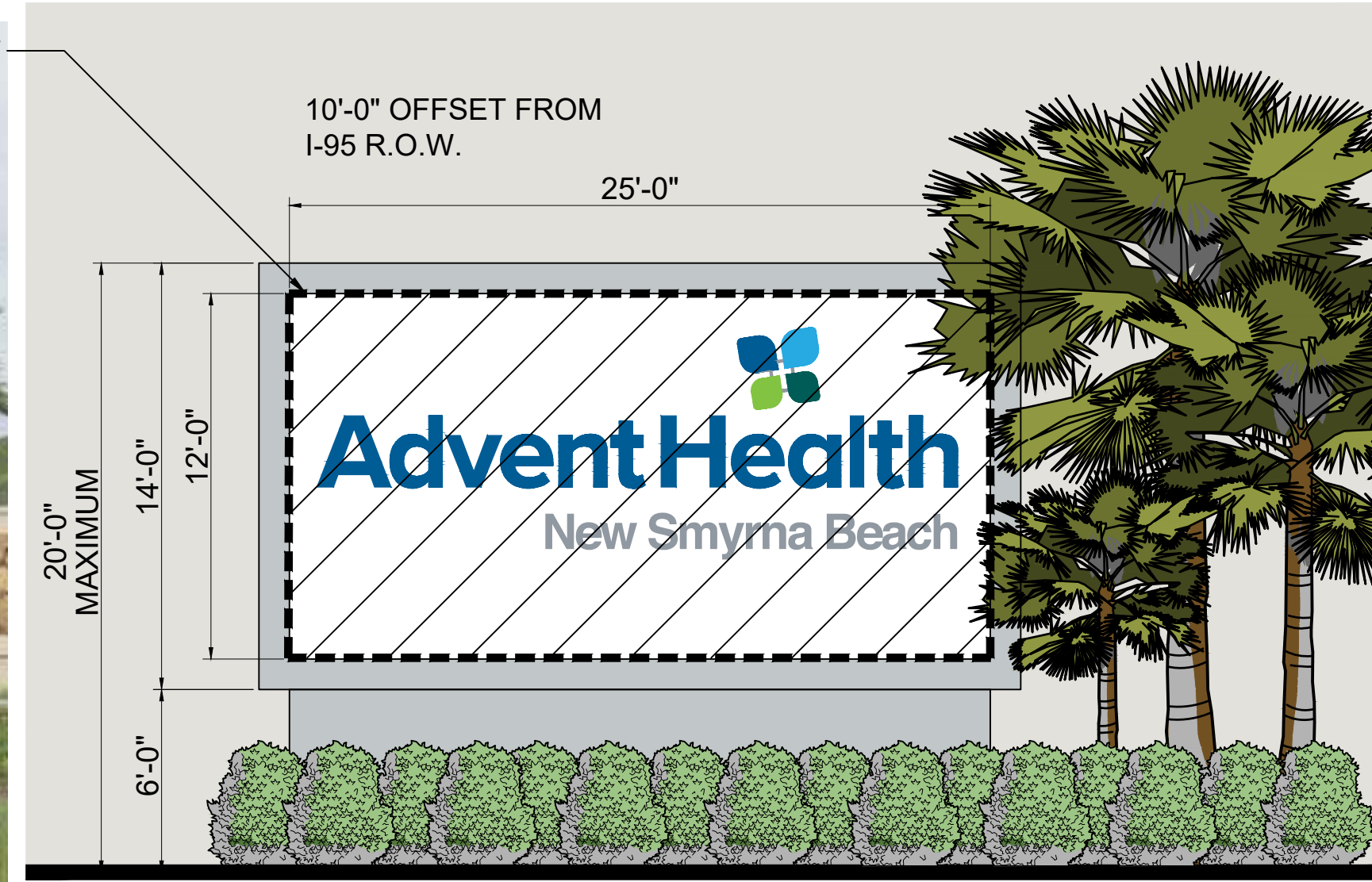
1B BUFFER "B" PLAN
 NOT TO SCALE

2B BUFFER "B" SECTION
 NOT TO SCALE

Note:
 Photograph example of Advent Health Palm Coast Identification Monument Sign.
 Exact design of New Smyrna Beach Identification Monument Sign will be determined
 at building/ sign permitting.



MAXIMUM COPY AREA OR DIGITAL/
 CHANGEABLE COPY SIGN FACE
 LIMITED TO 300 SF



2A CAMPUS IDENTIFICATION/ GROUND SIGN STYLE - OPTION A
 1/2" = 1'-0"
 1- Sided sign parallel to I-95

2B CAMPUS IDENTIFICATION/ MONUMENT SIGN STYLE - OPTION B
 1:5 SCALE
 2- Sided sign perpendicular to I-95

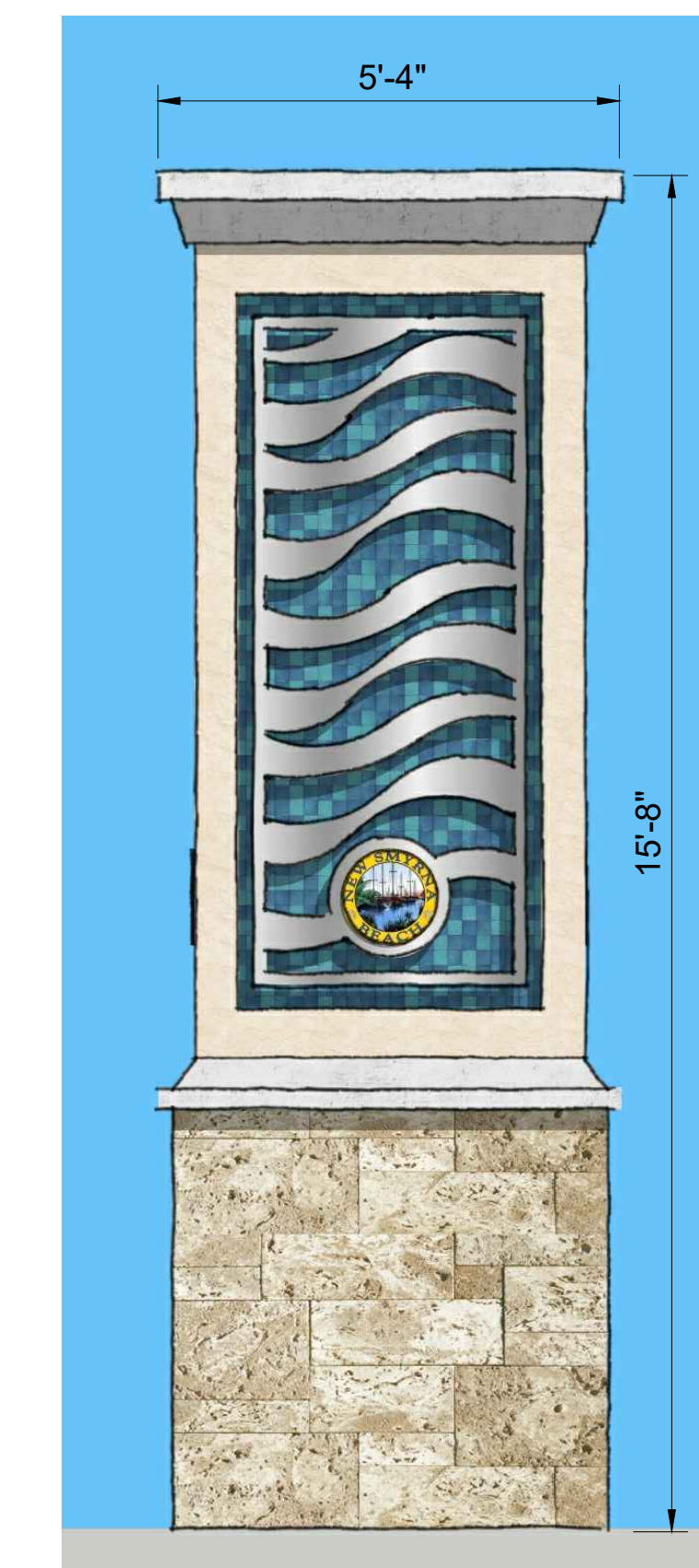
3 PRIMARY PYLON SIGN (ALONG S.R. 44)
 1/2" = 1'-0"

4 SECONDARY PYLON SIGN (SUGARMILL DR.)
 1/2" = 1'-0"



- SIGNAGE LEGEND**
- Proposed Internal Drive
 - ➔ Project Entrance
 - ⌋ Highrise Building Sign
 - ⊙ I-95 Campus Identification Sign
 - Activity Center Gateway Marker
 - * Primary Pylon Sign
 - Pylon Sign
 - ◆ Directional Sign
 - Ground Monument Sign
 - ⊕ Existing Billboard (TO BE REMOVED AFTER LEASE EXPIRATION IN 2024)

- Notes apply to all sign plans.
1. Sign designs reflect all brand standards and are to show scale and design intent.
 2. Sign messages shown are for illustration purposes only.
 3. Type style and AH logo to conform to AH Guidelines.
 4. Sign face may be ground or internally illuminated.
 5. Exact size of copy area will be submitted in future design phases, and at time of permitting.
 6. All sizes assume (2) faces with the exception of Gateway Marker.
 7. When signs occur within a buffer, the required plant material will be incorporated into another part of the said buffer.
 8. Signs shall be located a minimum of 5'-0" from the property line or R.O.W. line.



1 MEDICAL USE SIGNAGE PLAN
 1" = 200'

5 SECONDARY GATEWAY MARKER
 1/2" = 1'-0"

ISSUED FOR:	11/20/2020	SUBMITTAL (REVISION)	
	7/27/2021	SUBMITTAL (REVISION)	
	10/4/2021	SUBMITTAL (REVISION)	

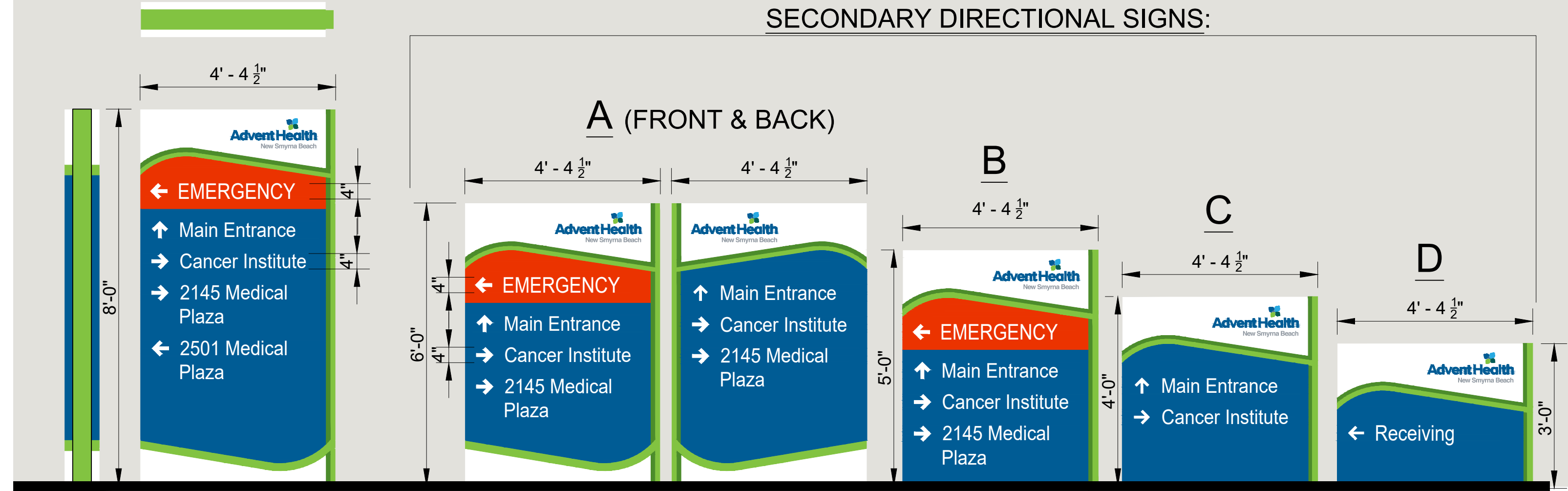
PROJECT NO.	2020-08
DESIGNED BY	AH
DRAWN BY	AH
CHECKED BY	TDC/ADJ
DATE	11/20/2020

DRAWING SCALE
 AS SHOWN

DRAWING TITLE
 MEDICAL USE SIGNAGE PLAN & SIGNAGE ELEVATIONS

DRAWING NUMBER

PRIMARY DIRECTIONAL SIGN:
(LOCATED AT MAJOR INTERSECTIONS ALONG LOOP ROAD)



Notes apply to all sign plans.

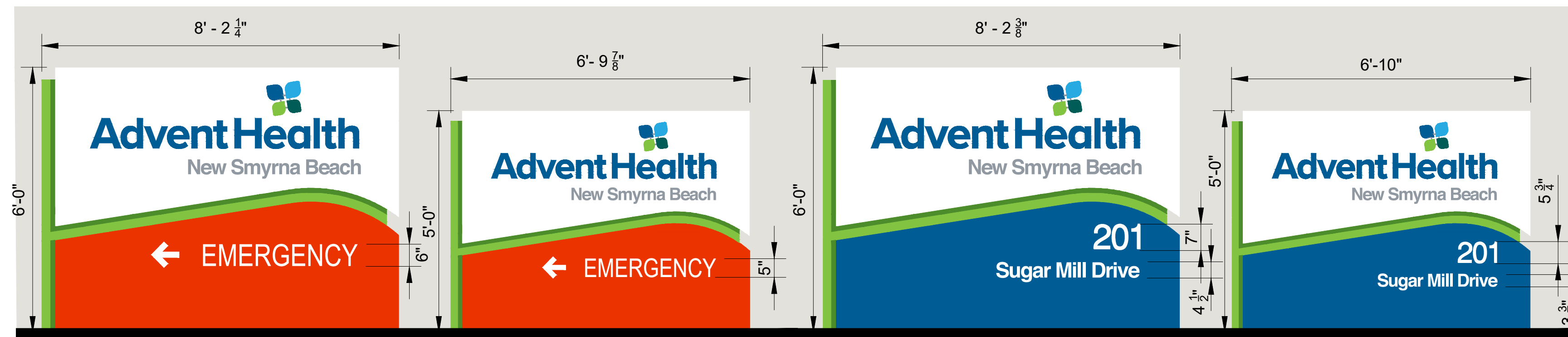
1. Sign designs reflect all brand standards and are to show scale and design intent.
2. Sign messages shown are for illustration purposes only.
3. Type style and AH logo to conform to AH Guidelines.
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6. All sizes assume (2) faces with the exception of Gateway Marker.
7. When signs occur within a buffer, the required plant material will be incorporated into another part of the said buffer.
8. Signs shall be located a minimum of 5'-0" from the property line or R.O.W. line.

SIGN DESIGN DRIVERS

1. Provide quick access/ notification to emergency access
2. Provide simple, legible access to key hospital entries
3. Brand recognition attracts best doctors to hospital facility
4. Reduces stress for patients and visitors with clear directional signage

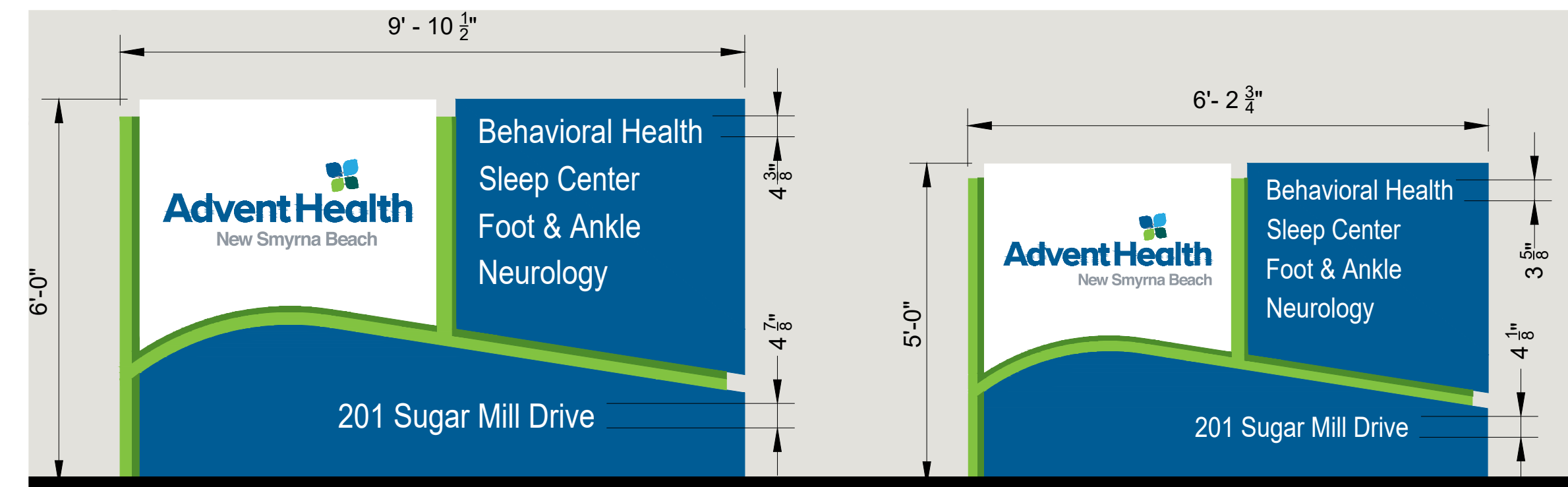
1 DIRECTIONAL SIGNS

NOTE:
EXACT LOCATION OF CAMPUS DIRECTIONAL SIGNAGE WILL BE DETERMINED DURING BUILDING PERMIT PROCESS



2 MEDICAL BUILDING ID MONUMENT SIGNS

NOTE:
EXACT LOCATION OF BUILDING ID SIGNAGE WILL BE DETERMINED DURING BUILDING PERMIT PROCESS



3 GROUND MONUMENT SIGNS (ALONG S.R. 44 & SUGARMILL DR.)



4 HIGH RISE BUILDING WALL SIGN ON HOSPITAL TOWER (300 SFT MAX) FOR TOWER @ 5 - 7 STORIES

- NOTES:
1. EXACT LOCATION OF BUILDING WALL SIGNAGE WILL BE DETERMINED DURING BUILDING PERMIT PROCESS
 2. HOSPITAL TOWERS 4 STORIES AND LESS WILL BE LIMITED TO 200 SF OF HIGH RISE SIGN COPY AREA WHICH ALLOWS FOR 4'-0" +/- LETTER HEIGHT.

NOTE:
EXAMPLE OF SIMILAR 60" CHANNEL LETTERS HIGH RISE SIGN AT ADVENT HEALTH APOPKA.

- Gray Robinson, PA
- Davis & Associates
- Donald W. McIntosh Associates, Inc.
- Luke Transportation Engineering Consultants, Inc.

**ADVENT HEALTH
NEW SMYRNA BEACH PUD**
City of New Smyrna Beach, Florida

SEAL

ISSUED FOR:	
11/20/2020 - SUBMITTAL	
7/27/2021 - SUBMITTAL (REVISION)	
10/4/2021 - SUBMITTAL (REVISION)	

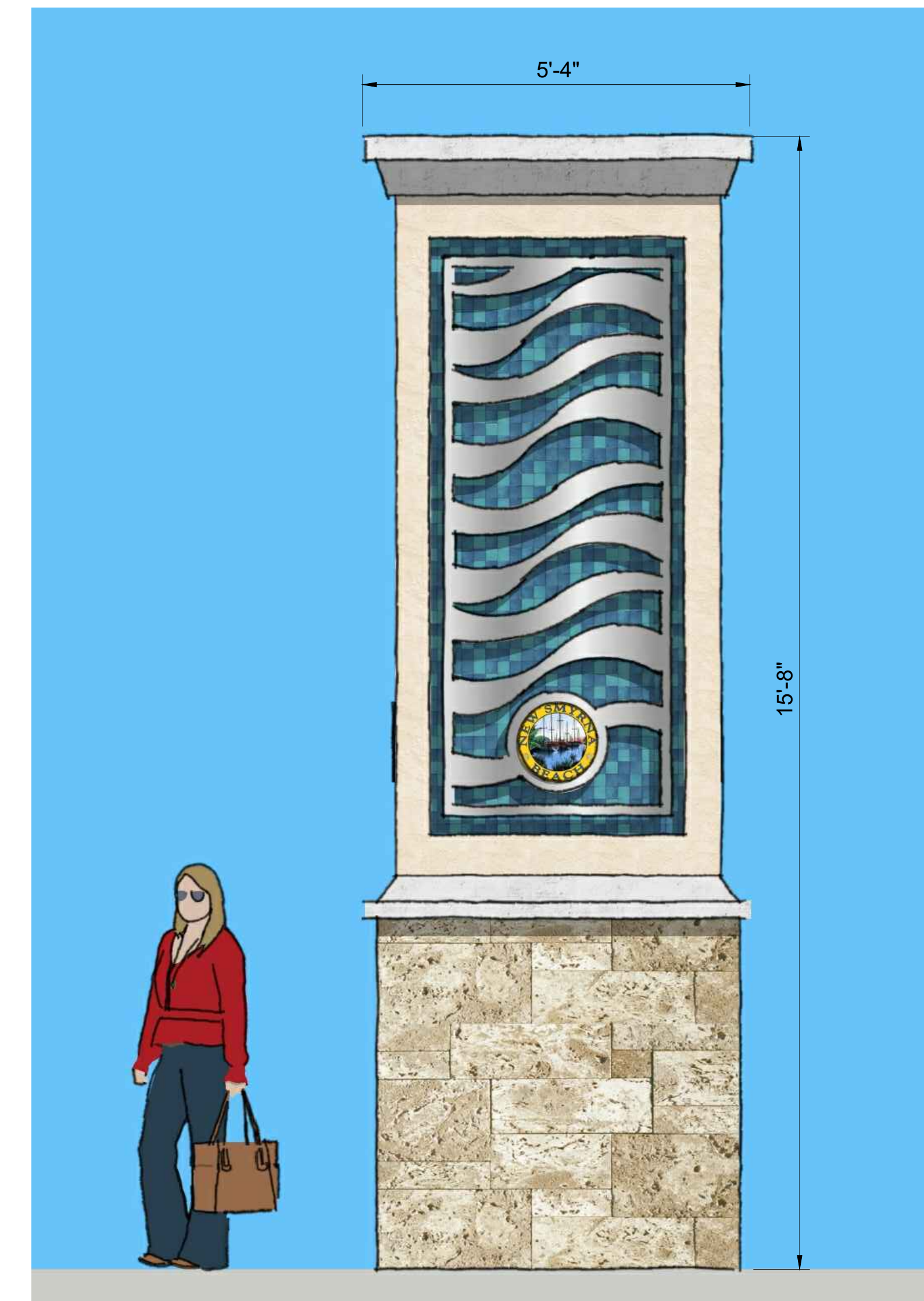
PROJECT NO.	2020-08
DESIGNED BY	AH
DRAWN BY	AH
CHECKED BY	TDC/ADJ
DATE	11/20/2020

DRAWING SCALE
AS SHOWN

DRAWING TITLE
MEDICAL USE SIGNAGE ELEVATIONS

DRAWING NUMBER

PUD-13



**ADVENT HEALTH
NEW SMYRNA BEACH PUD**
City of New Smyrna Beach, Florida

SEAL

ISSUED FOR:
11/20/2020 SUBMITTAL (REVISION)
7/27/2021 SUBMITTAL (REVISION)
10/4/2021 SUBMITTAL (REVISION)

PROJECT NO. 2020-08

DESIGNED BY TDC

DRAWN BY TDC

CHECKED BY TDC/ADJ

DATE 11/20/2020

DRAWING SCALE

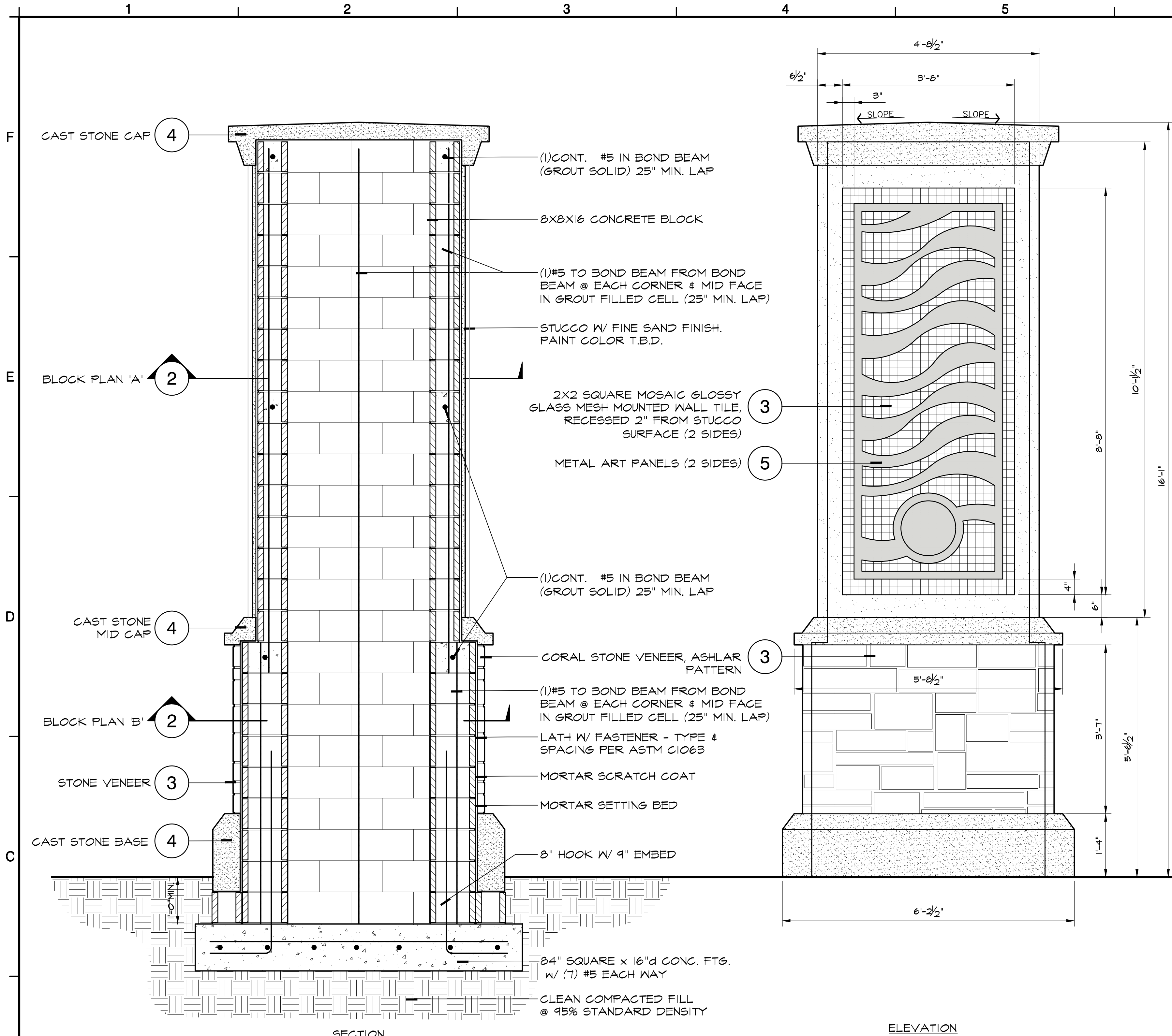
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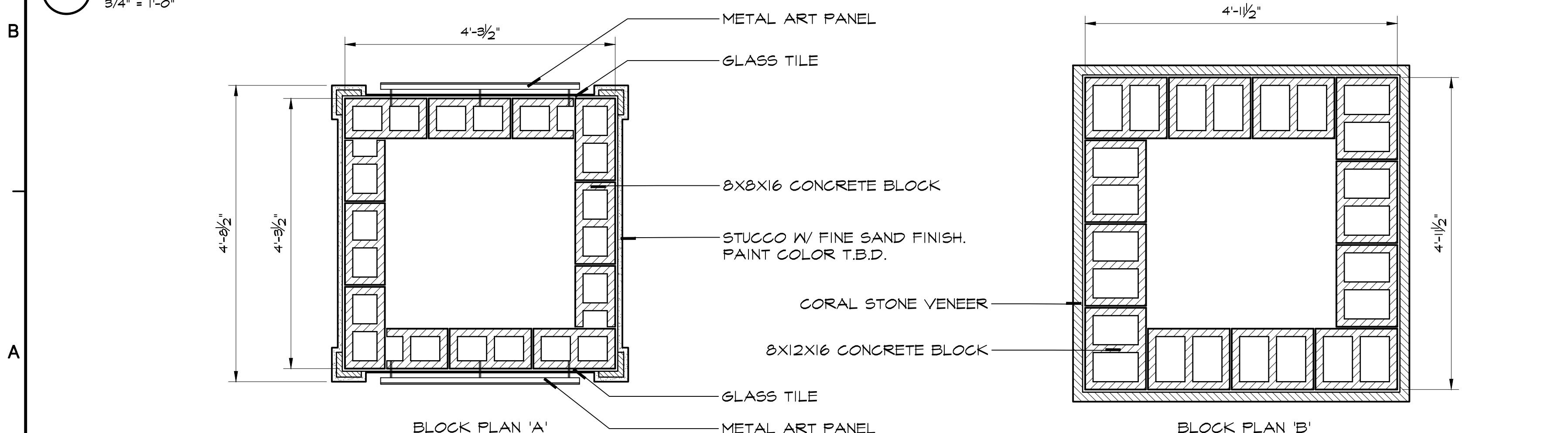
NSB SECONDARY GATEWAY MARKER CONCEPT

DRAWING NUMBER

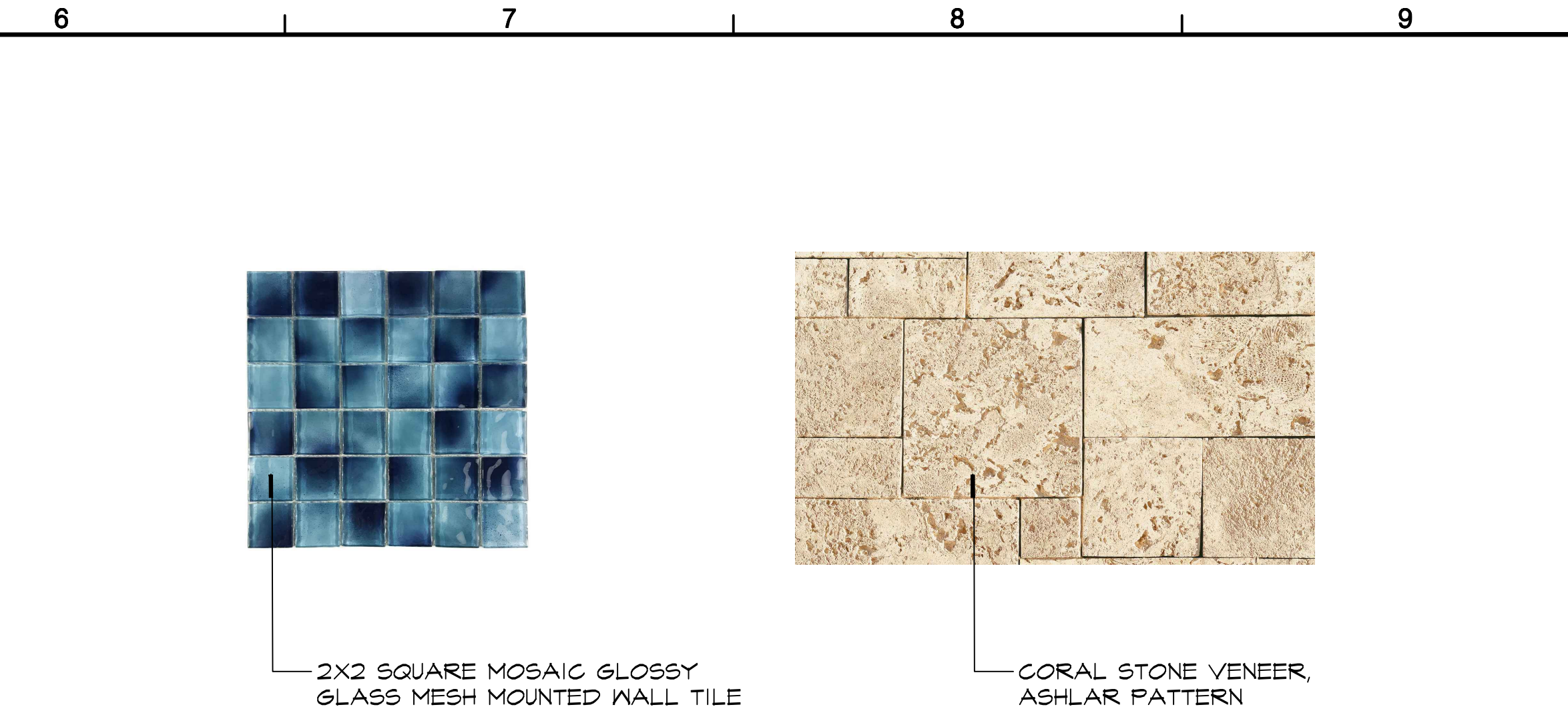
PUD-14



1 GATEWAY COLUMN SECTION/ ELEVATION
 3/4" = 1'-0"

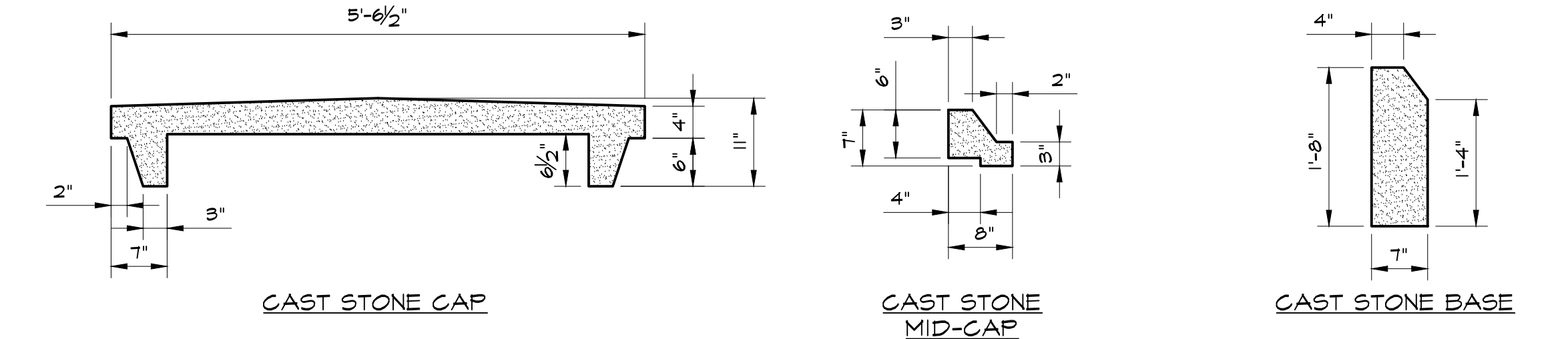


2 GATEWAY COLUMN PLAN DETAIL
 3/4" = 1'-0"

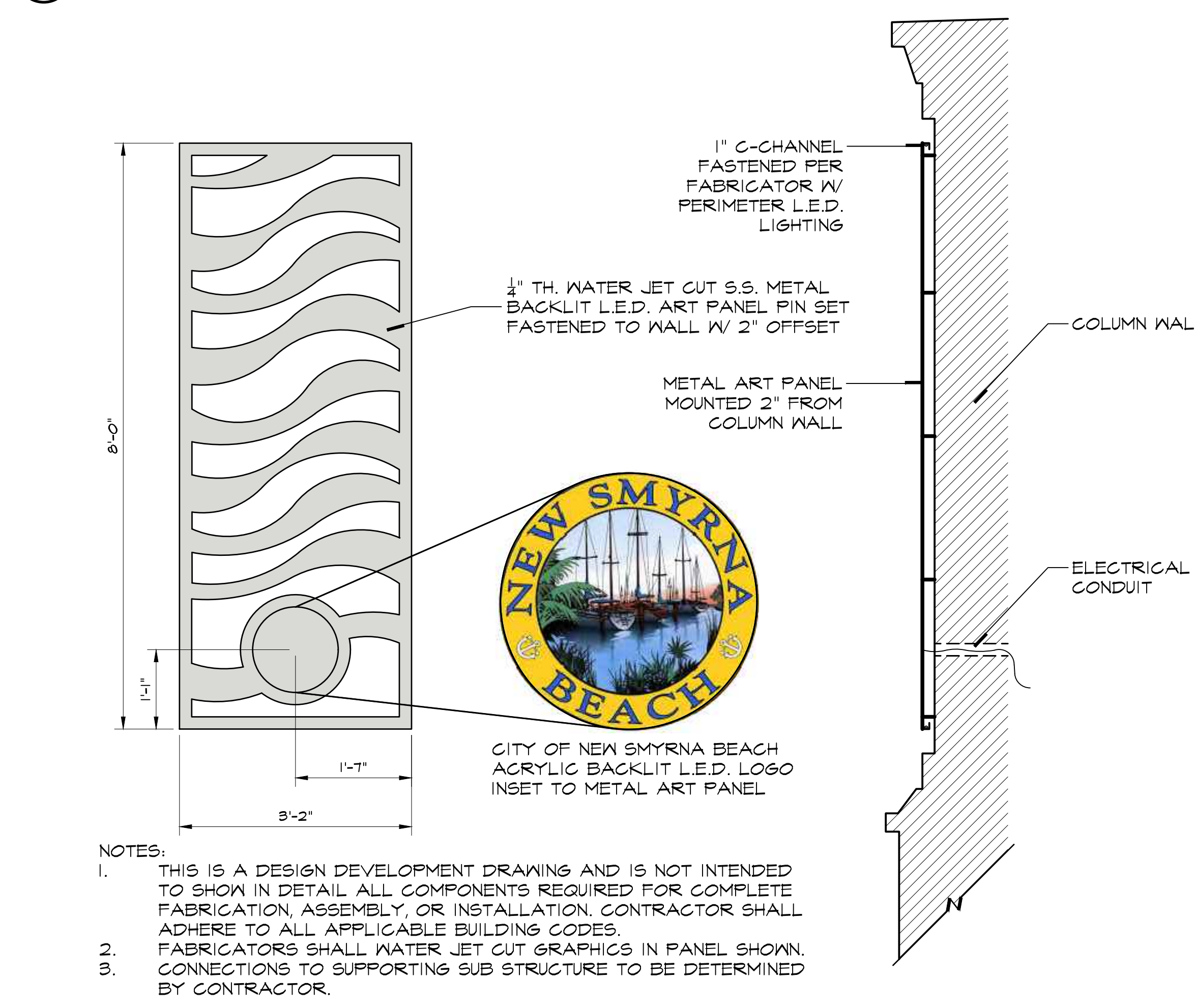


3 CLADDING MATERIAL

- NOTES:
1. CAST STONE MANUFACTURER RESPONSIBLE FOR THE PRODUCTION OF SHOP DRAWINGS & INSTALLATION DETAILS FOR SUBMITTAL PRIOR TO FINAL APPROVAL
 2. ALL CAST STONE PRODUCTS SHALL CONFORM WITH ALL REQUIREMENTS OF ASTM C1364.
 3. ALL FINISHED CAST STONE SURFACES SHALL BE SLOPED MINIMUM 1/4" PER FOOT FOR DRAINAGE
 4. CONTRACTOR RESPONSIBLE ANCHORING AND SECURELY FASTENING ALL CAST STONE PANELS.



4 CAST STONE DETAIL
 3/4" = 1'-0"



5 ART PANEL DETAIL
 3/4" = 1'-0"

- NOTES:
1. THIS IS A DESIGN DEVELOPMENT DRAWING AND IS NOT INTENDED TO SHOW IN DETAIL ALL COMPONENTS REQUIRED FOR COMPLETE FABRICATION, ASSEMBLY, OR INSTALLATION. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE BUILDING CODES.
 2. FABRICATORS SHALL WATER JET CUT GRAPHICS IN PANEL SHOWN.
 3. CONNECTIONS TO SUPPORTING SUB STRUCTURE TO BE DETERMINED BY CONTRACTOR.

HOSPITAL ARCHITECTURE



FREE STANDING EMERGENCY DEPARTMENT



MEDICAL OFFICE BUILDINGS



CONSULTANTS

Gray Robinson, PA
 Davis & Associates
 Donald W. McIntosh Associates, Inc.
 Luke Transportation Engineering Consultants, Inc.

ADVENT HEALTH
NEW SMYRNA BEACH PUD
 City of New Smyrna Beach, Florida

SEAL

ISSUED FOR:
 11/20/2020 SUBMITTAL (REVISION)
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 10/4/2021 SUBMITTAL (REVISION)

PROJECT NO. 2020-08
 DESIGNED BY TDC
 DRAWN BY TDC
 CHECKED BY TDC/ADJ
 DATE 11/20/2020

DRAWING SCALE
 NOT TO SCALE

DRAWING TITLE
 ARCHITECTURE CHARACTER IMAGES

DRAWING NUMBER
PUD-16